



LEVEL THREE

Your survey report

Property address

Client's name

Inspection date

Surveyor's RICS number

0099893

3

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A

About the inspection

This RICS Home Survey – Level 3 has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do this at your own risk.

A

About the survey

As agreed, this report will contain the following:

- a thorough inspection of the property (see 'The inspection' in section M) and
- a detailed report based on the inspection (see 'The report' in section M).

About the report

We aim to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property;
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects;
- propose the most probable cause(s) of the defects, based on the inspection
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work, and
- make recommendations as to any further actions to take or advice that needs to be obtained before committing to a purchase.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

About the inspection

- We carry out a desk-top study and make oral enquiries for information about matters affecting the property.
- We carefully and thoroughly inspect the property using reasonable efforts to see as much of it as is physically accessible. Where this is not possible an explanation will be provided.
- We visually inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access. We examine floor surfaces and under-floor spaces, so far as there is safe access and with permission from the owner. We are not able to assess the condition of the inside of any chimney, boiler or other flues.
- If we are concerned about these parts of the property that the inspection cannot cover, the report will tell you about any further investigations that are needed.
- Where practicable and agreed, we report on the cost of any work for identified repairs and make recommendations on how these repairs should be carried out. Some maintenance and repairs that we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings. We also inspect the parts of the electricity, gas/oil, water, heating, drainage and other services that can be seen, but these are not tested other than normal operation in everyday use.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in parts D, E, F and G, we describe the part that has the worst condition rating first and then outline the condition of the other parts.

 **Reminder**

Please refer to your **Terms and Conditions** received on the

21st Mar 2026

 for a full list of exclusions.



About the inspection

Surveyor's name

Michael Donohoe

Surveyor's RICS number

0099893

Company name

Kingdom Building Surveying Services

Date of the inspection

27th Mar 2026

Report reference

144k

Related party disclosure

This report was carried out by Michael Donohoe BSc(Hons) MRICS.

I am a member of the Royal Institute of Chartered Surveyors and have 25+ years of experience in the design, construction and inspection of buildings.

I can confirm that there is no conflict of interest in relation to this report.

Full address and postcode of the property

[Empty text box for full address and postcode of the property]

Weather conditions when the inspection took place

The weather at the time of inspection was overcast and showers.

Status of the property when the inspection took place

Occupied and fully furnished.

B

Overall opinion

This section provides our overall opinion of the property, highlighting areas of concern, and summarises the condition ratings of different elements of the property. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here. It also provides a summary of repairs (and cost guidance where agreed) and recommendations for further investigations.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, 'What to do now', and discuss this with us if required.

B

Condition ratings

Overall opinion of property

We are pleased to advise you that, in our opinion, this property is, on the whole, a reasonable proposition for purchase, provided that you are prepared to accept the cost and inconvenience of dealing with the various repair works reported and further investigations required.

These deficiencies are quite common in properties of this age and type. Provided the necessary works are carried out to a satisfactory standard, we can see no reason why there should be any special difficulty in resale. You must obtain estimates to ensure that the costs involved are acceptable to you.

If possible, costs for remedial works should be deducted from the sale price or handled by the vendor before purchase.

Some areas require further investigation, even if no issues are immediately visible, as hidden defects could lead to costly repairs.

The surveyor accepts no liability if recommended investigations are not completed before purchase.

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.

Element no.	Document name	Received
1	Updated Electrical Certificate	
2	Updated Gas Certificate	
3	Guarantees or warranties for building / improvement works which may include: FENSA certification, etc.	
4	Any previous claim against the building insurance.	



Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name	Comments (if applicable)
D1	Chimney stacks	We would recommend that the flue is capped and vented, the chimney stack is overhauled including repairing any cracked sand/cement flashing, removing vegetation and repointing the brickwork. The flashings should be replaced when the roof is recovered.
D2	Roof coverings	We would recommend that urgent repairs are undertaken as soon as possible such as replacing any loose/missing tiles and repointing/re-bedding the ridge tiles. And allowance to replace the main pitch coverings is made within the next 10-15 years.
D3	Rainwater pipes and gutters	Undertake maintenance to rainwater goods, refix front gutters to suitable falls, clean out RWO.
E1	Roof structure	A structural engineer should assess the extent of the damage. The rafter will likely need reinforcement (such as sistering or steel plating), and the pipework should be rerouted so it no longer passes through structural timbers. Any associated moisture damage should also be checked and addressed. The cut-rafter roof structure with purlin support shows several defects, including dampness to the party wall, daylight visible through gaps in the roof covering, the absence of an underlay. Repairs are recommended to close gaps in the covering, investigate and remedy the source of dampness, and upgrade the insulation. The electrical wiring present in the roof space should also be reviewed by a qualified electrician. Based on both internal and external condition indicators, it is likely that the roof covering will require replacement within the next 10–15 years, and potentially sooner if defects worsen or water ingress becomes more significant.
E5	Fireplaces, chimney breasts and flues	Following repairs to the chimney breast, the affected area should be monitored for any remaining signs of dampness. Once the masonry has dried, the salt-contaminated plaster should be removed and replaced with a suitable renovating plaster designed to resist residual salts..

F1	Electricity	You should have the entire installation tested by a competent electrician (NICEIC/ECA registered) prior to purchase, so that you are aware of the likely costs and all recommendations implemented.
F2	Gas/oil	You should instruct a Gas Safe registered contractor to provide an estimate for these works and any necessary associated repairs. If a recent test certificate, dated within the last twelve months, is not available for the gas supply and appliances then we would recommend they are tested.
F4	Heating	You should instruct a suitably qualified heating engineer to carry out a thorough inspection and functional test of the heating system and to advise on any improvements and/or upgrading required prior to exchange so that you are aware of the likely cost.
F5	Water Heating	Refer to section F4 above.
F6	Drainage	We would recommend that further investigations/ cctv survey are undertaken to trace the location of the drainage. Allow to undertake repairs/alterations as necessary.

B

Condition ratings

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
D5	Windows	Allow to overhaul windows ironmongery. There are gaps to the sealant on the main building and sealant missing to the porch windows. We would recommend that all defective sealant is removed and replaced to prevent water penetration around the frame.
D6	Outside doors	There is a missing sealant to the porch door. We would recommend that all missing sealant replaced to prevent water penetration around the frame.
D7	Conservatory and porches	Refer to previous sections.
D8	Other joinery and finishes	External decorations, such as repainting woodwork and inspecting uPVC components for damage, should be carried out as required, about every five years, to ensure that all surfaces are protected.
D9	Other outside the property	Allow to undertake investigations and repairs as recommended to prevent moisture transfer internally to the lounge area.
E2	Ceilings	As with the majority of plastered ceilings, minor areas of deterioration to the plaster do exist, in particular where surfaces meet. This is to be expected and can be rectified when attending to redecoration. We tested the ceilings for damp in various areas and no high readings were recorded.

E4	Floors	Carry out localised repairs to the landing floorboards to address the sagging and creaking noted during inspection. Ensure that sub-floor ventilation remains unobstructed, and consider improving underfloor insulation where accessible. If movement persists after minor repairs, have a competent carpenter check the supporting joists and fixings for any signs of deterioration.
G2	Permanent buildings and other structures	Refer to the recommendation in the report.
G3	Other grounds	Improve the rear drainage run to prevent ponding against the brickwork, reinstate a proper fall away from the building, and fit a suitable capping to the exposed brick pier to protect it from further weathering.



Elements with no current issues

No repair is currently needed. These elements listed here must be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
E6	Built-in fittings	None
E7	Woodwork	None
F3	Water	The property is considered plumbed in plastic/copper, the suitability of pipe runs, spacing, clipping, and jointing are not readily determined. There was no obvious evidence of a defect noted at the time of our inspection. However, it is recommended that a qualified plumber should be instructed to report on the condition of all pipes, including the concealed ones.



Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected.

Element no.	Element name
D4	Main walls

E3	Walls and partitions
E8	Bathroom fittings



Elements not applicable

Elements that have not been inspected.

Element no.	Element name
E9	Other inside the property
F7	Common Services
G1	Garage

B

Condition ratings

Summary of repairs

Formal quotations should be obtained prior to making a legal commitment to purchase the property.

CR- Condition Rating

Repairs	Cost Guidance (optional)
CR1- D1/D2: Chimney Stack, Roof Repairs (including access)	£2,000
CR1- D3: Rainwater Goods - realignment	£500
CR1-E1: Roof Structure- Repair to hip rafter, adjust shower pipe fitting.	£1,000
CR1- E5: Fireplace, chimney breast and flues	£500
CR1- F1: Electricity, test and certify allow for minor repair (prov sum)	£500
CR1- F2/F4/F5: Gas installations/ Heating- Test and certify	£250
CR1- F6: Drainage- uncover inspection chambers, cctv survey (prov sum),	£500
CR2- D2: 10-15 years, replace roof covering to main roof	£10,000
CR2- D5: Windows, sealant and minor repair to porch windows	£600
CR2- D6: Doors, sealant replacement/repair	£150
CR2- D8: Other joinery and finishes	£300
CR2- D9: Damp (minor)penetration to lounge wall (Prov sum)	£500
CR2- E2: Ceilings: minor repairs prior to decoration	£300
CR2- E4: Floors, creaking floorboards, remove underfloor debris	£500
CR2- G2- Permanent Buildings and Other Structure	Costings for works not included

Further investigations

Further investigations should be carried out before making a legal commitment to purchase the property.

E3: Walls and partitions (Minor dampness to lounge, rear wall)

E4: Sub floor (clear debris)

F1, F2, F3, F4, F5- Services.

F6- Investigate the location of surface and foul water drains, and allow to undertake cctv survey of the drains.

C

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities



About the property

Type of property

The property comprises a two-storey semi-detached house.

Approximate year the property was built

Based on our knowledge of the area and housing styles, we think the property was built in the 1930's (approximately).

Approximate year the property was extended

The property has a small porch extension to the front. This appears to have been built within the past 10-15 years.

Your legal advisor should make enquires regarding any Planning Permission(s) and/or Building Regulations completion certificate(s) for any alteration or extension works that may have been carried out at the property, and any guarantees, warranties or Professional Consultants Certificate(s) (PCCs) that may be available relating to the same.

Note, if there are no guarantees, warranties or PCCs available for works carried out, you must accept the risk of possible hidden building defects existing, which may not be apparent during a visual inspection.

Approximate year the property was converted

N/a

Information relevant to flats and maisonettes

N/a

Construction

The property was built using traditional materials and methods. It features a pitched roof covered with natural slate. The main original external walls seem to be of narrow cavity wall construction, while the internal walls are a mix of solid and hollow structures. The modern porch extension appears to be of modern cavity wall construction. The floors are suspended timber on both the ground and first floors. The windows are replacement UPVC double-glazed units. The front door is a single-swing composite design, and the rear door is a sliding/folding type made from pre-finished aluminium.

Accommodation

	Living rooms	Bedrooms	Bath or shower	Separate toilet	Kitchen	Utility room	Conservatory	Other
Lower ground								
Ground	1				1			Separate Porch, hallway and stairs (Open plan)
First		3	1					Landing and stairs
Second								
Third								
Other								
Roof Space								

Means of escape

All appears satisfactory.



Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

We will advise on the appropriateness of any energy improvements recommended by the EPC.

Energy efficiency rating

The current EPC rating is D-67, the property has a potential to achieve B-87 and is valid until 25th August 2032.

Issues relating to the energy efficiency rating

The EPC cites 200mm insulation in the roofspace; this is incorrect. Insulation to the roofspace is poor at circa 100mm quilt insulation.

Main services

A marked box shows that the relevant mains service is present.



Gas



Electric



Water



Drainage

Central heating



Gas



Electric



Solid fuel



Oil

Other services or energy sources (including feed-in tariffs)

N/a

Other energy matters

N/a



Location and facilities

Grounds

The property has an open front space facing the public footpath, with boundary fences on both sides. On the right hand side a gated entrance leads to a path connecting the front and rear gardens. The path and enclosed rear yard are fully paved, and there's a sizable flat-roofed outbuilding. The rear is bordered by a timber post and timber panel fence, and the overall gradient of the property is mostly level.

Location

The building is located within an established residential area within reasonable proximity of all usual local amenities.

Facilities

All usual facilities and amenities are reasonably at hand.

Local environment

According to gov.uk flood risk assessment website, the property is located in an area at a very low risk of surface water flooding and at a very low risk of flooding from rivers and seas.

According to the UK Radon Map, the property is located in an area where some parts of the 1km grid square are in bands of elevated radon potential of between 10-30%.

Government guidance for radon levels greater than 10%, full radon protection should be provided. This may involve installing a radon barrier or other protective measures. It is important to note that while basic protection reduces the occurrence of radon concentrations above the Action Level from around 30% in unprotected homes to under 12%, it does not completely prevent radon ingress

The average radon level inside UK homes is 20 Bq/m³, which is higher than the average radon level outside in the open air, which is approximately 4 Bq/m³ across the UK. There is no known "safe" level of radon, but the lower the concentration you are exposed to, the lower the risk to your health. Public Health England recommends that radon levels should be reduced in homes where the average is more than 200 becquerels per metre cubed (200 Bq m⁻³). This recommendation has been endorsed by the Government.

According to The Coal Authority's interactive map, the property is not in a coal surface area. The Surface Coal Resource Areas define the coal resources capable of being extracted by surface mining methods, often referred to as 'opencast'. This information is used by Local Planning Authorities as part of the duty to safeguard minerals from unnecessary sterilisation. The surface coal resource areas shown have been derived from current information available to the Coal Authority and British Geological Survey.

No environmental search has been undertaken.

We recommend that your Legal Adviser obtain an Enviro All-in-one from the coal authority, a detailed property-specific contaminated land, flood risk and ground stability report. This report will also include confirmation that this property does/does not require a coal mining report.

Other local factors

We are not aware of any road schemes, statutory proposals, or any private developments of any nature that would adversely affect the value or the use and enjoyment of the property. However, we do advise that before you exchange contracts, you call at the local planning office and ask to see the current planning proposals for the immediate area.

D

Outside the property

D

Outside the property

Limitations on the inspection

Many parts of a building, such as foundations and subfloor areas, are concealed during the inspection. We have not inspected woodwork or other parts of the structure that are covered, unexposed or inaccessible, and we are, therefore, unable to report that any such part of the property is free from defect.

It was not raining at the time of inspection, and there may be leaks or defects which can only become apparent during periods of heavy rain.

In preparing this report, we may rely on information provided by the client before our inspection, although we will not authenticate the details of any information provided.

Not every area has been inspected in detail. Our inspection of all areas cannot confirm the presence of every or all defect within the property as a whole, and where our inspection was restricted. We are not unless specifically noted within the report, commenting in any general sense on the risk of all possible sources of defects which may become evident in the future. Our findings are therefore limited accordingly.

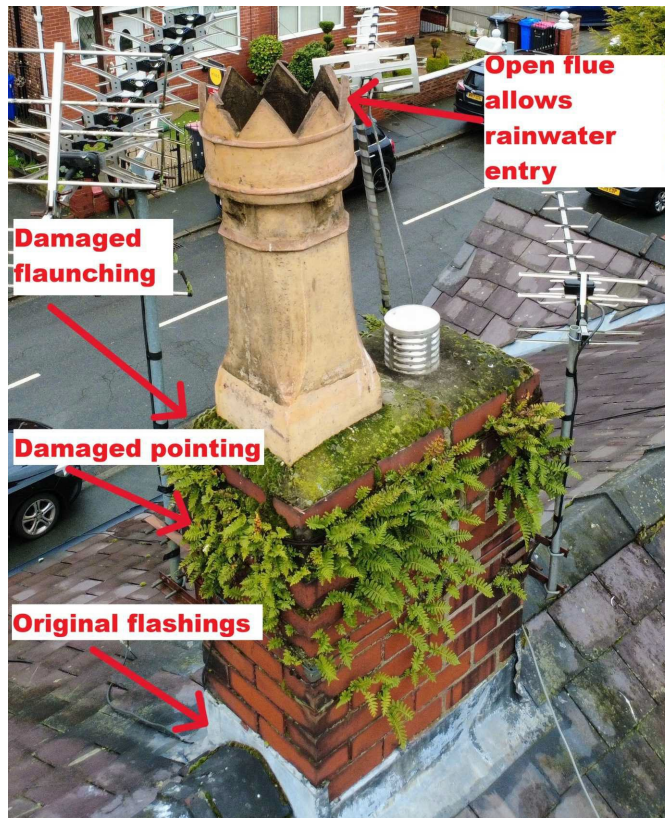
D1 Chimney stacks

3

There is one shared brick chimney stack that has one flue serving the property, this appears to be live serving the property. The chimney stack is located to the mid point of the ridge. The chimney has a cement mortar flaunching as capping, the concrete flue is not capped, allowing rainwater entry to the flue.

There are original lead flashings to the abutments, although currently providing waterproofing appears to be reaching life expiry and are likely to require replacement within the next 10-15 years.

We noted heavy vegetation growth to the pointing all around the stack. We would recommend that the repointing is repaired within the next couple of years to prevent water penetration into the roofspace. We noted dark staining to brickwork chimney breast in the roofspace indicating damp penetration.



Chimney stack viewed from a drone at the rear



Chimney stack viewed from a drone at the front

Main Roof:

The roof is of dual pitch design covered with an earthenware plain tile.

We observed possible slipped/defective slates and mortar pointing on some of the ridge tiles are beginning to erode. We recommend immediate repairs to prevent water ingress, timber decay and dampness. The roof structure is generally performing its function. There is no underfelt; the roof covering appears to be original. We noticed daylight to the front of the roof space, indicating small gaps to the roof covering which will be vulnerable to wind-driven rain penetration. There is no apparent signs of roof leaks.

One of the most obvious signs that your roof needs replacement is lead tabs indicating nail fatigue, which is the breakdown of the fixings. This becoming worse over time, until it is uneconomical to repair. We estimate the roof will require replace with the next 10-15 years.

Cracked, chipped, or broken tiles can compromise the integrity of the roof, leading to leaks and damage to the structure. Another sign the roof is nearing the end of its useful life is the neighbouring property has replaced the roof covering, and there are other properties around that have had a roof covering replacement.

Porch Roof:

The roof covering to the front porch requires some minor repairs as can be seen from the labelled photos.



View to main roof from above



View showing the porch roof to the front



View to main roof from front



Note the position of the hole to the front



View to rear



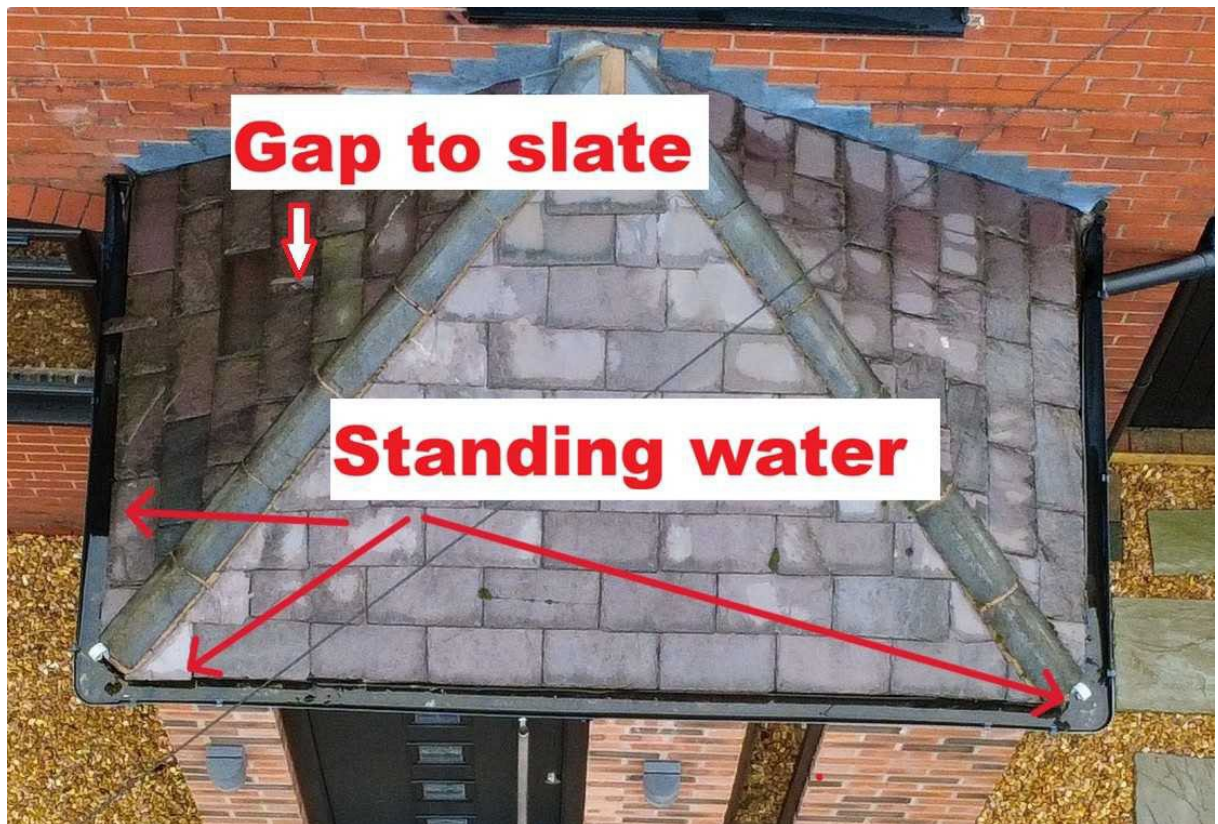
View to gable roof slope



View around SVP



View to front outrigger, left hand side



Porch roof



Porch roof

D3 Rainwater pipes and gutters

3

The rainwater goods serving the property comprise of uPVC half-round guttering draining to 75mm diameter rainwater pipes. These are served, we assume by a combined drainage gully running to a public underground drainage.

We noted standing water in the guttering at the front of the property, which overflows as evident from the staining on the base of the front wall. There is debris blocking the front rainwater outlet. The porch roof guttering has also poor falls, which is evident by the standing water.

Drainage gullies should be cleaned and maintained regularly to minimise the risk of blockage and as a precaution all surface water gullies and drainage trenches within curtilage should be flooded prior to purchase commitment to determine their likely adequacy or otherwise.



Main roof front guttering



Porch roof



RWP to porch roof



Base of RWP to porch roof



Front RWP



RWP gable elevation

The property's age suggests that the foundations supporting the main structure are likely to be shallower than what would be required by current building standards. Shallower foundations can make the building more vulnerable to movement caused by changes in the moisture content of the soil beneath, particularly during different seasons. In modern construction, a common foundation type is the strip foundation, which consists of a continuous strip of concrete laid beneath load-bearing walls to provide stable support and reduce the risk of settlement.

The porch extension appears to have been constructed to modern standards, featuring insulated cavity walls supported by strip foundations. This approach improves thermal efficiency and structural stability compared to older methods.

The main building's walls are likely of original solid wall construction, possibly with a narrow cavity. Solid walls are constructed from a single layer of bricks or blocks, whereas cavity walls have two layers separated by a gap (cavity) that helps with insulation and prevents moisture penetration. Solid walls are more prone to damp issues, especially if the mortar is weak or the brickwork is porous. Sometimes, a small cavity exists, but it is often filled with dropped mortar due to the original building methods, which does little to improve insulation or moisture resistance. In contrast, modern cavity walls are designed to reduce heat loss and damp penetration, making them more effective for energy efficiency and maintenance.

Solid walls also have a lower U value. The U value is a measure of how well a building element, such as a wall, transmits heat. A lower U value means poorer insulation, so more heat escapes through the wall. Modern cavity walls typically have higher U values, meaning they are better at keeping heat inside and reducing energy costs.

We observed localised stepped cracking above the arch to the rear patio door, indicating some settlement in this area. This is likely due to the arch settling under the weight of the brickwork above. We recommend monitoring this area over the next year. To monitor effectively, carry out visual inspections every three months and take photographs to track any changes. Look for signs such as cracks widening, new cracks appearing, or existing cracks changing shape. If you notice worsening conditions or increased movement, seek advice from a qualified structural engineer. As a precaution, gaps in the mortar joints should be repaired. This process is known as pointing, which involves replacing or repairing the mortar between bricks. When repointing, use a mortar mix compatible with the original brickwork to maintain structural integrity and appearance.

During recent renovations, some openings on the gable elevation have been filled in using bricks of a different shade. This is a minor issue, as it only affects the visual appearance of the façade and does not impact the structural performance or weather resistance of the wall.

There was some localised staining to low-level brickwork, this appears to be due to leaking guttering (front) and/or ponding water to the paving (rear).



View to front



View to front from rhs



View to rear



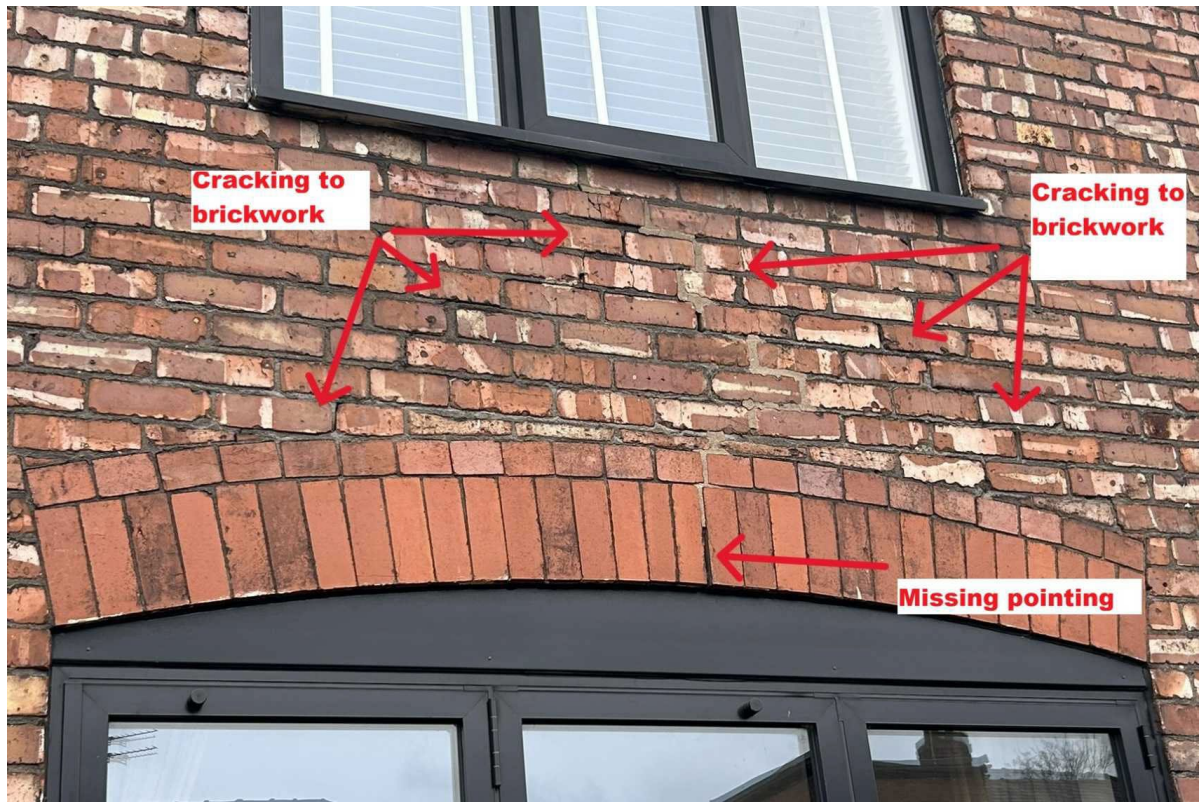
View to gaps to pointing above porch



View to damage brickwork to gable



View to typical gaps to brickwork to gable



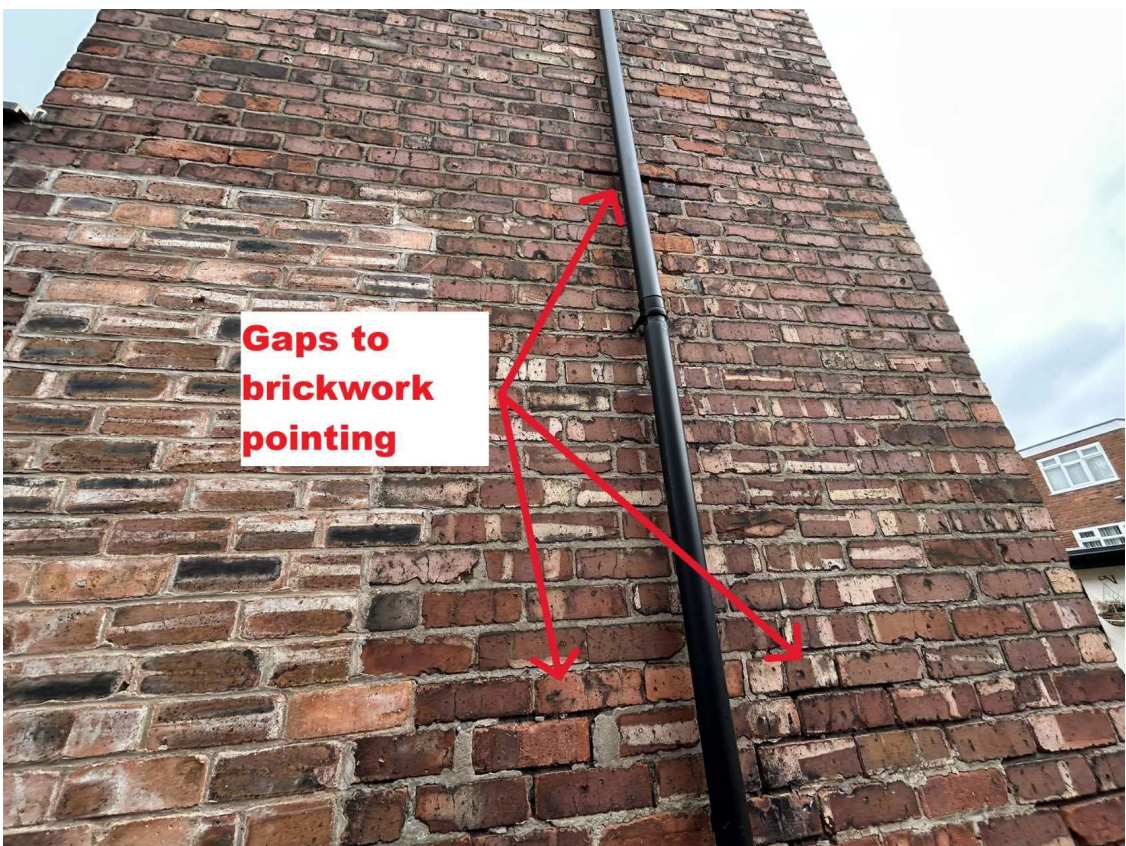
View to rear brickwork cracking above patio door



View to staining due to water ponding to paving



Gaps to point, rear low level



Gable elevation

D5 Windows

2

The windows to the main building are of uPVC casement construction with double-glazed units installed and generally appear in fair condition.

The windows to the porch extension are painted hardwood windows, incorporating double-glazed units.

Windows in the property were opened, and no defects were noted to the operation at the time of inspection. However, we did note some light corrosion to ironmongery. We would recommend that the ironmongery is overhauled.

Double glazing has a limited lifespan and is prone to deterioration at the edge seals. Failure cannot always be diagnosed during a single inspection. Enquiries in respect of guarantees available would be prudent as failure of the remaining units can occur at anytime.

There are gaps to the sealant on the main building and sealant missing to the porch windows. We would recommend that all defective sealant is removed and replaced to prevent water penetration around the frame.

Windows installed post April 2002 must have either Building Regulation Approval or FENSA certification which will be required to be checked.

Note:

The first-floor windows to bedrooms appear to be suitable as escape windows, this in accordance with Approved Document B, escape windows must have an unobstructed, clear, openable area. Minimum dimensions of: Exit free area: 0.33m² / Minimum width: 450mm / Minimum height: 450mm



View to front



Typical window to porch, missing sealant



Porch window, damage to cill.



View to front bathroom window



Gap to sealantt- lounge window



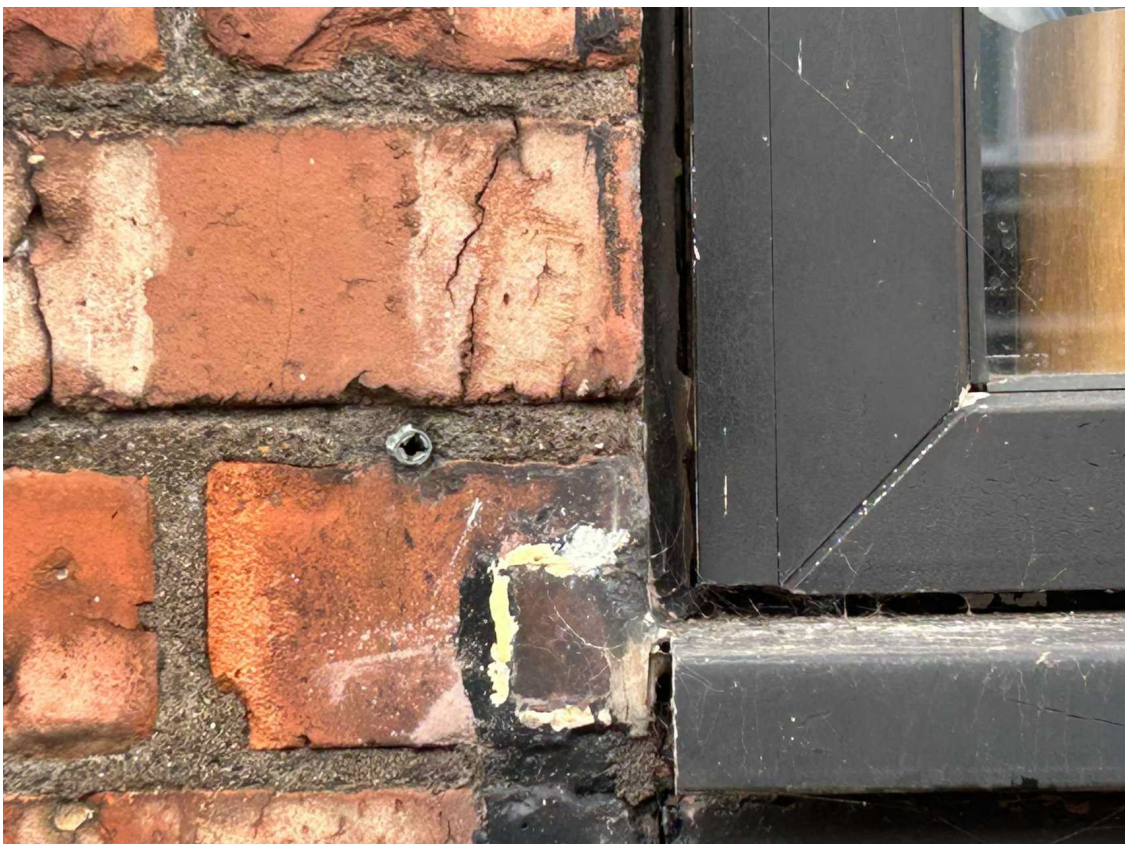
Ironmongery- corroded



Ironmongery



Rear kitchen window



Gap to sealant- rear windows



Gaps to sealant- rear windows

D6 Outside doors (including patio doors)

2

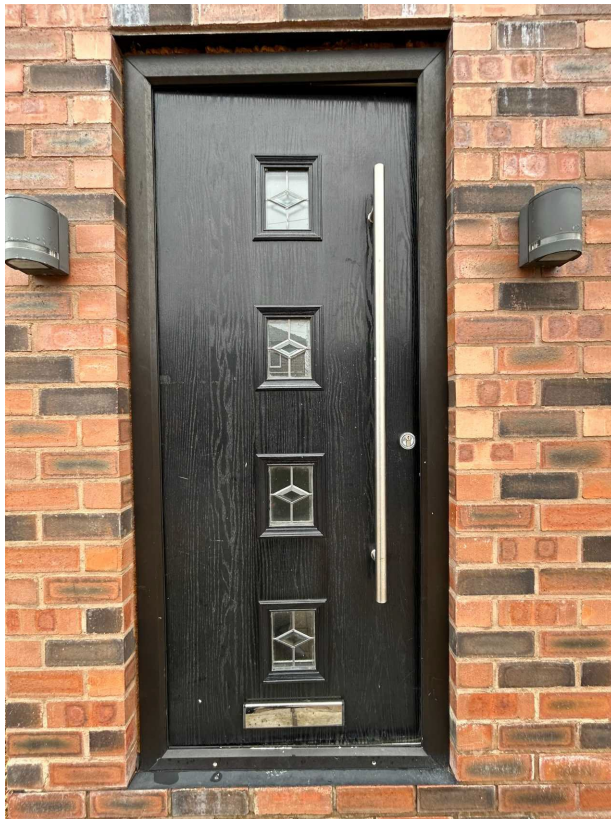
The property has a modern composite front door with a black wood-grain finish, incorporating four vertical obscure-glazed panels, a full-height metal pull handle, and a letterplate. It is set within a matching frame in a cavity brickwork opening, with two external wall lights positioned symmetrically.

The door, frame, glazing, and ironmongery appear true, secure, and in good visual condition, with no evident distortion, damage, or deterioration. Surrounding brickwork is sound.

There is a missing sealant to the porch door. We would recommend that all missing sealant be replaced to prevent water penetration around the frame.

A three-panel aluminium sliding–folding door is installed to the rear elevation. The glazing and frame appear in good visual condition. The door was checked under normal operation and opened, closed, and locked satisfactorily, with no obvious defects noted. No signs of water ingress were visible at the threshold. Assessment was visual only, and concealed components were not inspected.

The door from the porch to the internal area has a white uPVC entrance door with a decorative double-glazed patterned panel, a gold-finished lever handle, and an integrated letterplate. The frame appears straight and in acceptable visual condition, with no obvious defects noted during a non-intrusive inspection.



Front door



Missing sealant to front door



Patio door to rear



Upvc door from porch area

D7 Conservatory and porches

2

The porch is described in the previous text. There are some minor repairs required, previously described.



View of the porch from the left



View to porch from above

D8 Other joinery and finishes

2

Other joinery includes non-biodegradable materials at the eaves level (the edges of the roof where the guttering is fixed). There is an original soffit (the underside of the roof overhang) to the right-hand elevation, and the paintwork is peeling from the woodwork at the eaves level.

To the front entrance overhanging roof, there are uPVC fascias (the boards fixed to the edges of the roof) and soffit (the underside of the roof overhang).

External decorations, such as repainting woodwork and inspecting uPVC components for damage, should be carried out as required, about every five years, to ensure that all surfaces are protected.



View to front elevation



View to right hand elevation



View to rear elevation



Close-up view of the right hand elevation eaves



View to soffit to right hand side, around SVP



Peeling paintwork to soffit on the right hand side

Moisture is entering through the external brickwork around the window, leading to internal damp patches.

Solution:

Repoint the affected brickwork, renew any defective sealant around the window frame, and repair internal plaster once the wall has dried.

2. Possible Bridging Allowing Moisture Transfer

At the lower wall section, the stepped area and surrounding masonry may be allowing moisture to bridge across the cavity or damp-proof course.

Solution:

Check the stepped area to confirm and allow the insertion of a vertical DPC to prevent moisture transfer.



View to rear

E

Inside the property

Inside the property

Limitations on the inspection

We have not inspected parts of the property that were covered, unexposed or inaccessible, or not possible to inspect without removing carpets or fittings. We were unable to report that such parts are free from rot, wood-boring insect infestation, other pests, or defects. We cannot accept any responsibility for any defect which would have been apparent to us only if we had been able to inspect freely these parts of the property.

It is possible that defects may exist in unseen areas and unless the property is fully inspected prior to purchase commitment, there may be additional costs of repair which must be borne by you.

The chimney flues have not been inspected, and it is not possible to comment upon the adequacy of any linings.

The floor voids could not be inspected. The floorboards have not been lifted, and no comment can be made regarding these covered areas.

It was not raining at the time of inspection, and there may be leaks or defects which can only become apparent during periods of heavy rain.

Some of the internal walls are concealed by wall tiles, paper, shelves, stored items, furniture, and fittings. It is possible that defects may exist in unseen areas, and unless the property is fully inspected prior to purchase commitment, there may be additional costs of repair which must be borne by you.

Not every area has been inspected in detail. Our inspection of all areas cannot confirm the presence of every or all defect within the property as a whole, and where our inspection was restricted. We are not unless specifically noted within the report, commenting in any general sense on the risk of all possible sources of defects which may become evident in the future. Our findings are therefore limited accordingly.

Inspection of the roof space was carried out via the access hatch on the first-floor landing. We have not inspected parts of the property which were covered, unexposed or inaccessible, or not possible to inspect without removing fittings. We are unable to report that such parts are free from rot, woodboring insect infestation, other pests, or defects. We cannot accept any responsibility for any defect which would have been apparent to us only if we had been able to inspect freely these parts of the property.

Our inspection of the roof timber was restricted due to the lack of suitable timber boarding. It is possible that defects may exist in unseen areas and unless the property is fully inspected prior to purchase commitment, there may be additional costs of repair which must be borne by you.

The roof space is formed in a cut-rafter construction, with purlins supported by internal cross-walls. The rafters, purlins and associated timbers appear aged but generally serviceable where visible, though inspection was restricted by stored items, insulation and limited safe access.

There is no sarking felt or underlay beneath the roof coverings, meaning there is no secondary barrier to wind-driven rain, snow or debris. Daylight was visible through gaps in the roof covering, indicating potential pathways for moisture penetration during adverse weather.

The party wall shows signs of dampness, with visible staining and discolouration consistent with moisture tracking through the masonry. The source may relate to rain penetration, the defects in the chimney or moisture transfer through the wall.

Ceiling insulation is inadequate and unevenly distributed, with areas of compression, missing sections and older material offering limited thermal performance. Electrical wiring and ducting are present across the joists and should be reviewed by a competent electrician due to age and condition.

We noted that shower pipe has been installed **through the hip rafter**, requiring part of this key load-bearing timber to be cut away. This weakens the rafter and reduces its ability to support roof loads, increasing the risk of movement, distortion, or future structural failure.

A **structural engineer** should assess the extent of the damage. The rafter will likely need **reinforcement (such as sistering or steel plating)**, and the pipework should be **rerouted** so it no longer passes through structural timbers. Any associated moisture damage should also be checked and addressed.



View to roofspace towards left hand side



View to party wall - staining to chimney breast



Daylight entry



View to front, hip rafter.



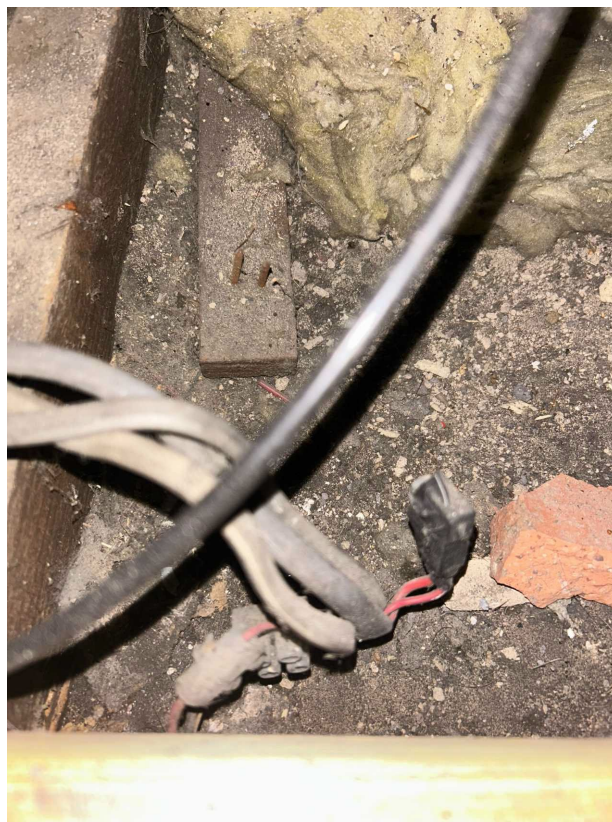
View to rear purlin supported of brick wall



View to front purlin supported of cross wall



View to purlin support below hole in the roof



View to poor wiring to roof lighting



View to rear roof slope duct penetration



Shower fitting pass through, hip rafter

E2 Ceilings

2

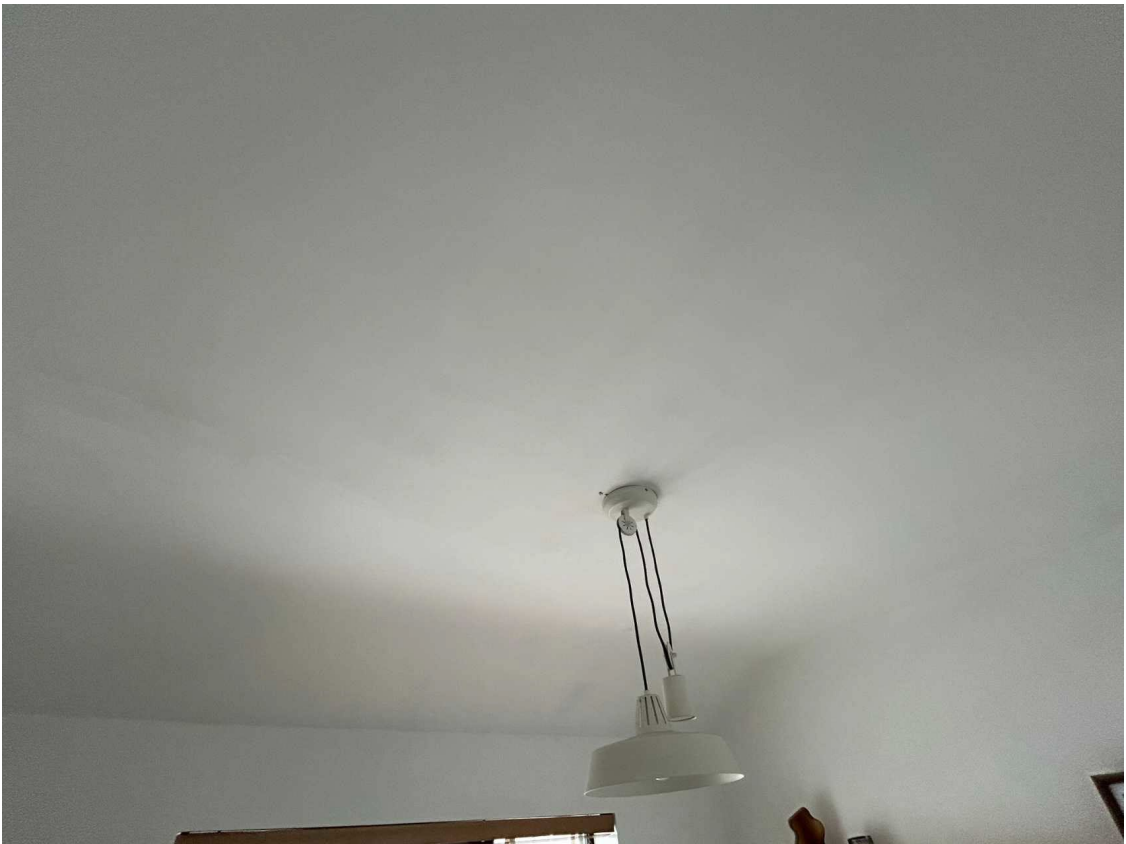
Appears to be a mixture of lath and plaster and plasterboard and skim, all appeared satisfactory. However, we did note a few minor defects, cracking to plaster and patch area as can be seen from the pictures provided. These are minor aesthetic items and can be dealt with and during the next decoration work.



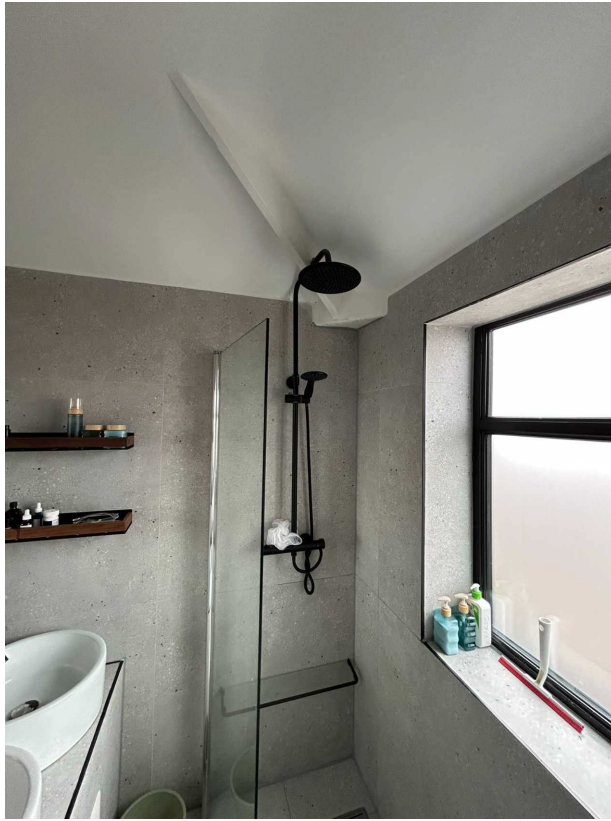
Bedroom 3- rough finish to ceiling



View to Bedroom 2 ceiling



View to main bedroom ceiling



View to bathroom ceiling



View to shower fitting- hole to hip rafter



View to landing ceiling



View to kitchen/hallway ceiling



View to hallway ceiling



View to lounge ceiling

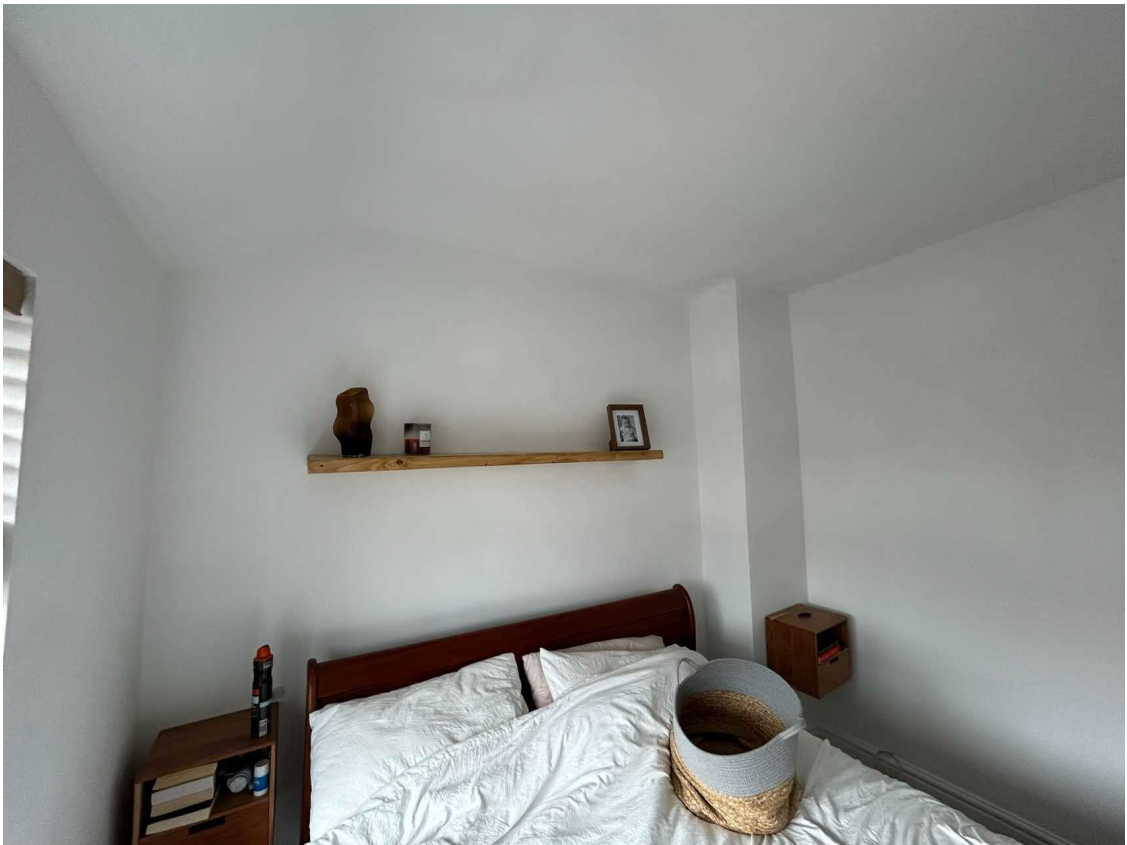


View to porch ceiling

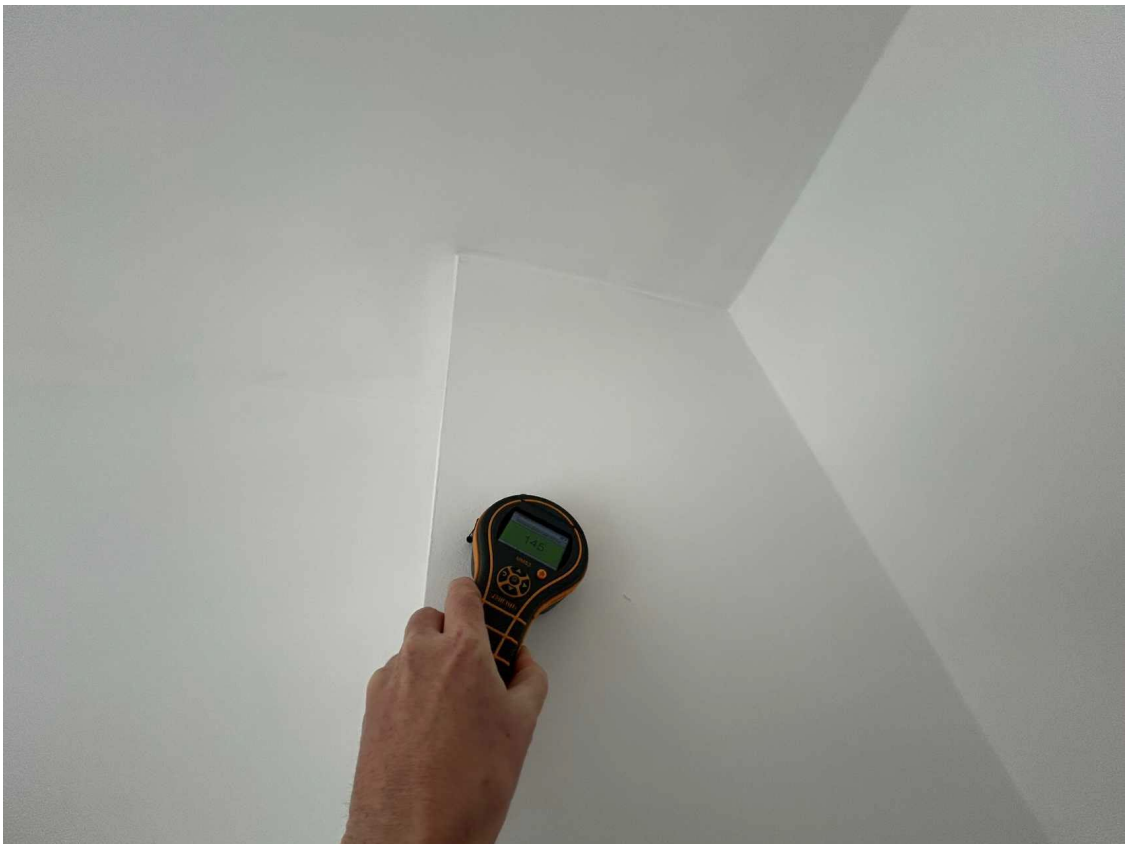
E3 Walls and partitions

(NI)

The internal partition walls appear sound and show no signs of structural weakness, although their support cannot be confirmed without intrusive investigation. The plastered finishes are in good decorative order, and minor hairline cracking may occur over time.



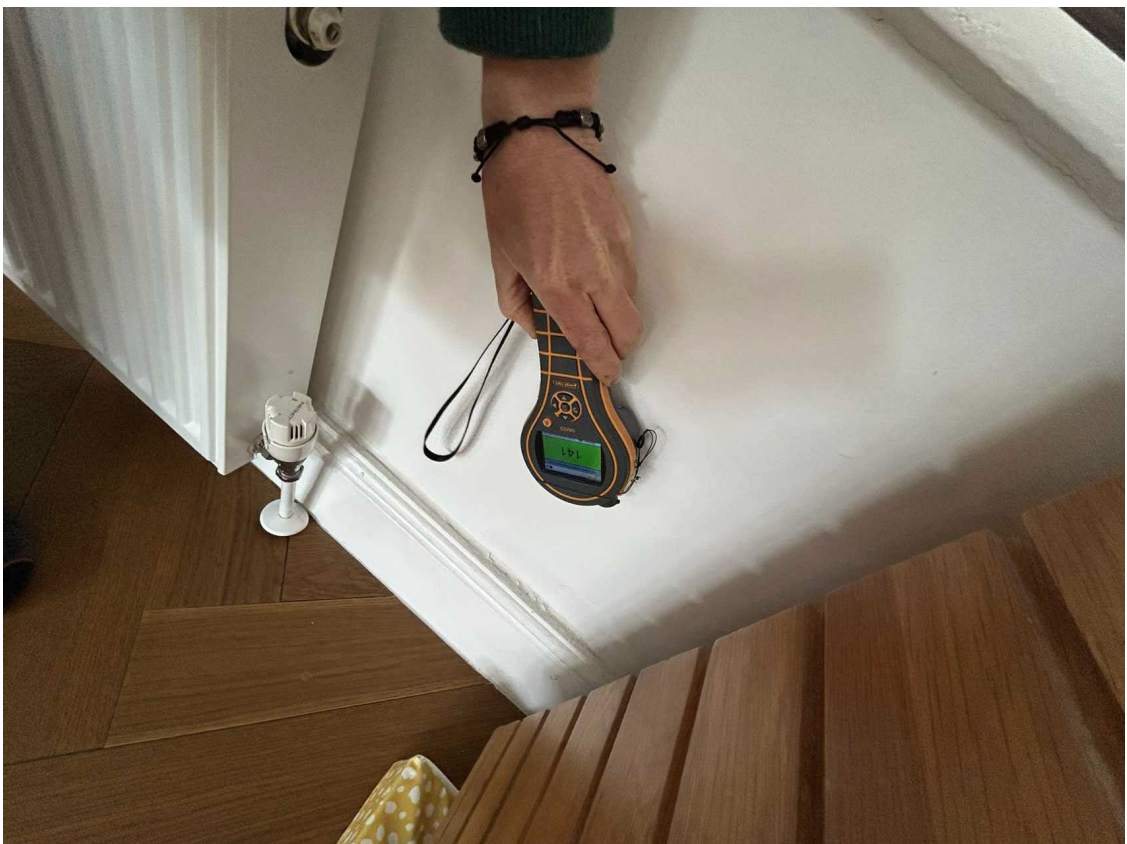
View to main bedroom



Dry moisture reading to the chimney breast 1st fl



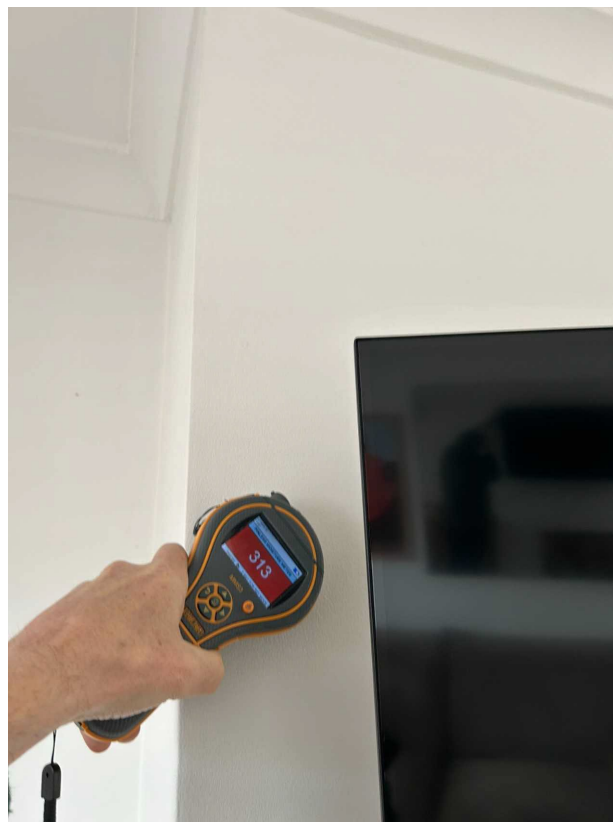
lounge



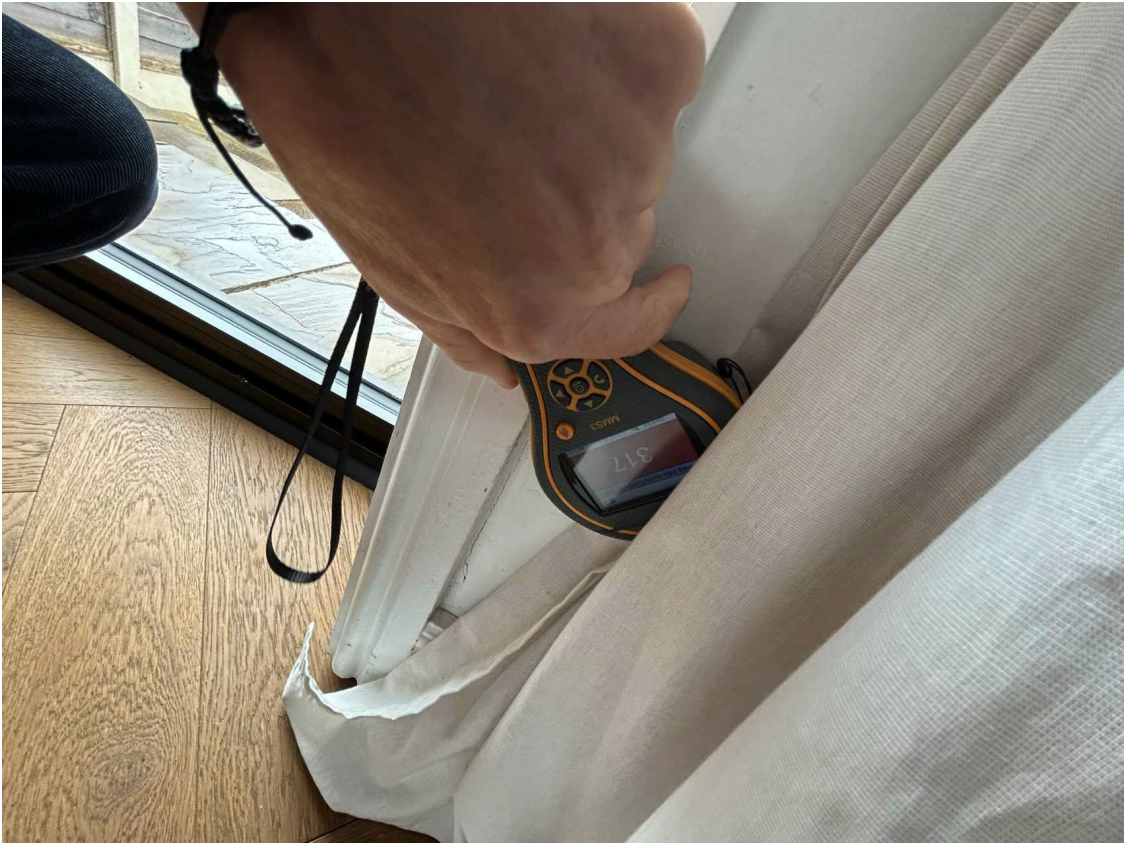
dry moisture readings generally



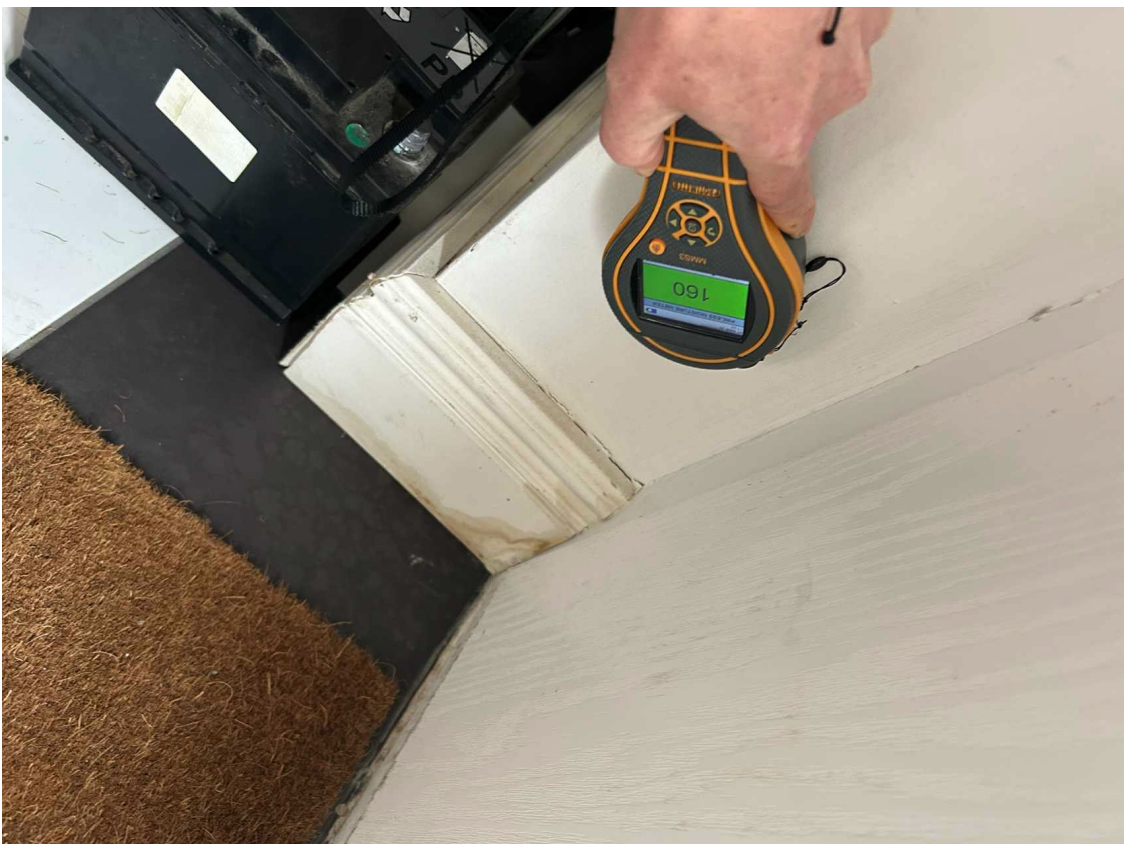
Minor cracking



High moisture reading to lounge chimney breast



High moisture reading to one side of patio door



Dry reading at front door porch



Rear patio

E4 Floors

2

The ground and first floors are of suspended timber construction. The first-floor structure appears generally satisfactory. The underfloor void beneath the ground floor could only be viewed from the restricted access hatch, but ventilation is provided by air bricks to the front and rear. The lounge floor has been underdrawn with a breathable membrane and insulated with fibreglass quilt.

Some localised sagging and creaking was noted to the landing, suggesting loose or weakened floorboards. Minor repairs are recommended, and ventilation to the sub-floor should be maintained to prevent future moisture-related issues.



View to floor void



View to floor void- note debris



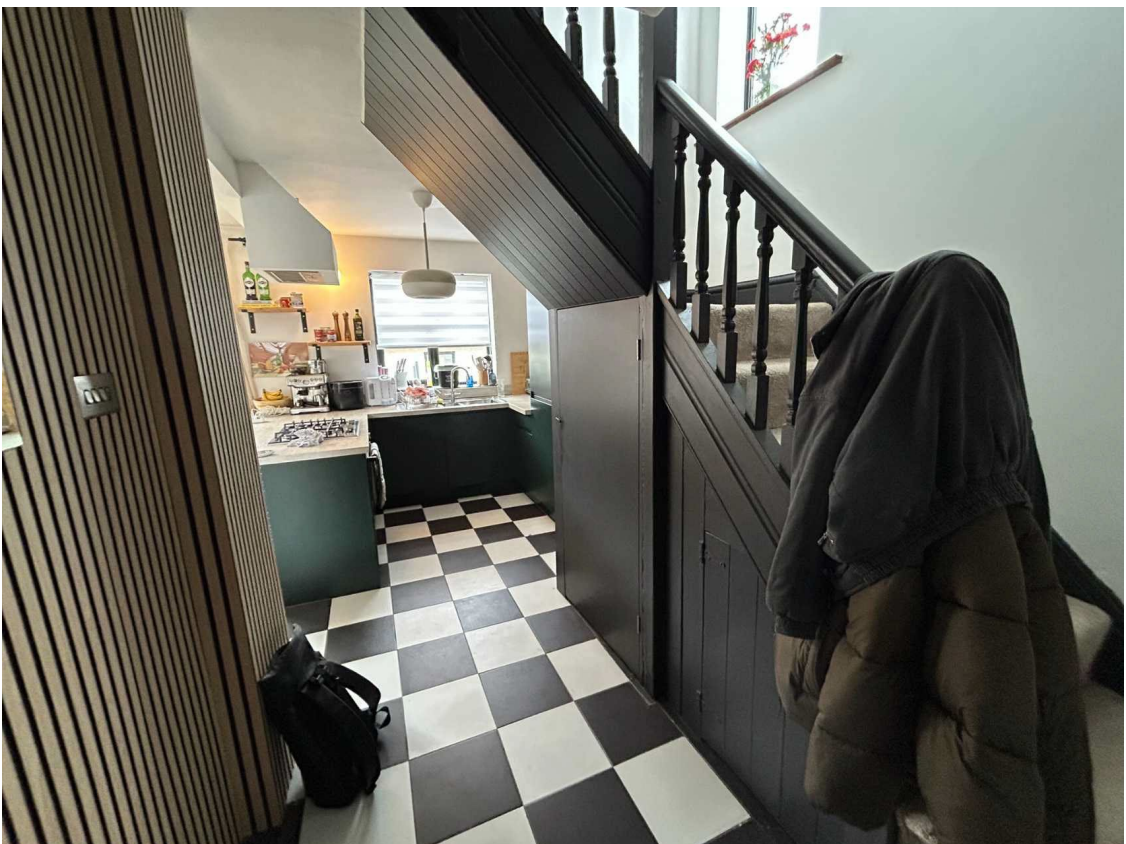
View to floor void, towards front



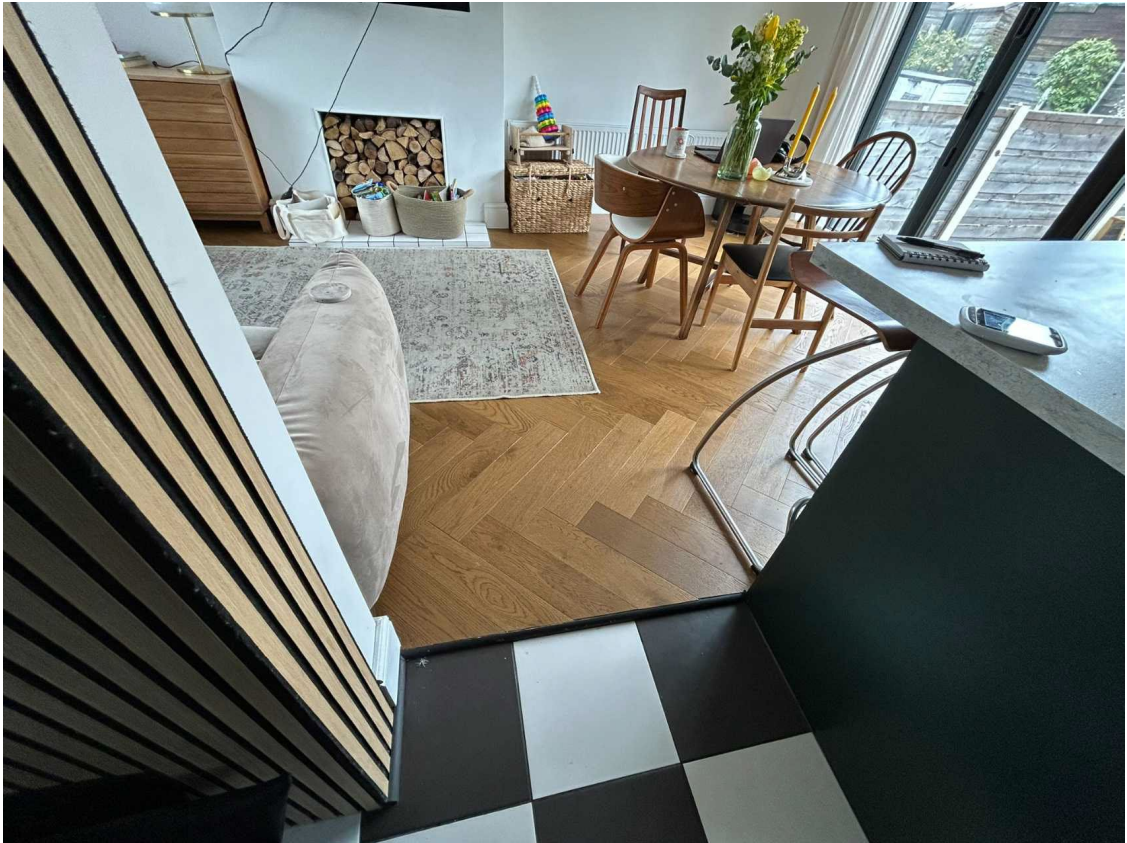
View to access to floor void under the stairs



View to landing



View to ground floor



View to lounge/kitchen floor

E5 Fireplaces, chimney breasts and flues

3

There is a chimney breast on the left hand party wall. The shared chimney stack extends above the roof level. The flues have been blocked and are currently redundant. There is an ornamental fireplace to the lounge.

There is a combination gas-fired boiler located in a cupboard in the kitchen. The flue extends to the gable wall appears satisfactory.



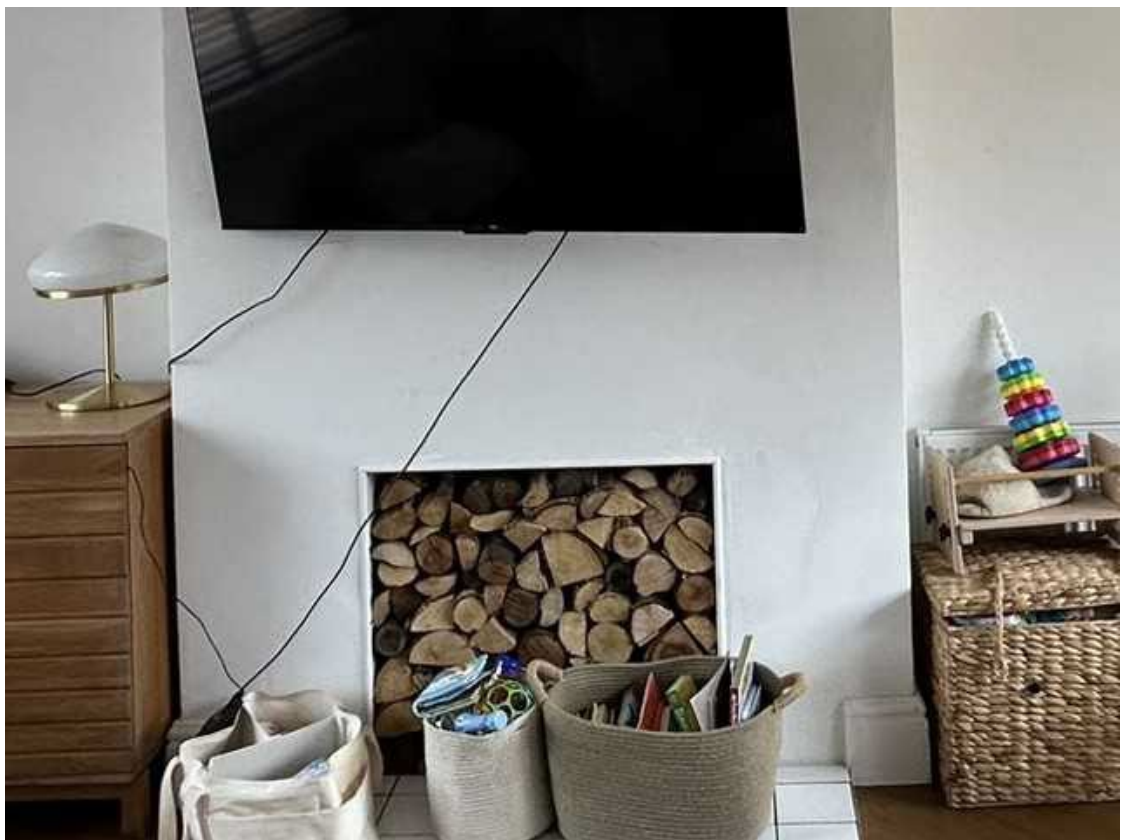
View to lounge fireplace



View to chimney flue



View to boiler flue



ornamental fireplace filled with logs

E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

1

The kitchen appeared modern and fit for purpose at the time of inspection with minor wear and tear to fittings identified.

None of the kitchen appliances has been tested.

Built-in fittings can conceal a variety of problems that are only revealed when they are removed for repair. For example, kitchen units often hide water and gas pipes, or obscure dampness to walls.



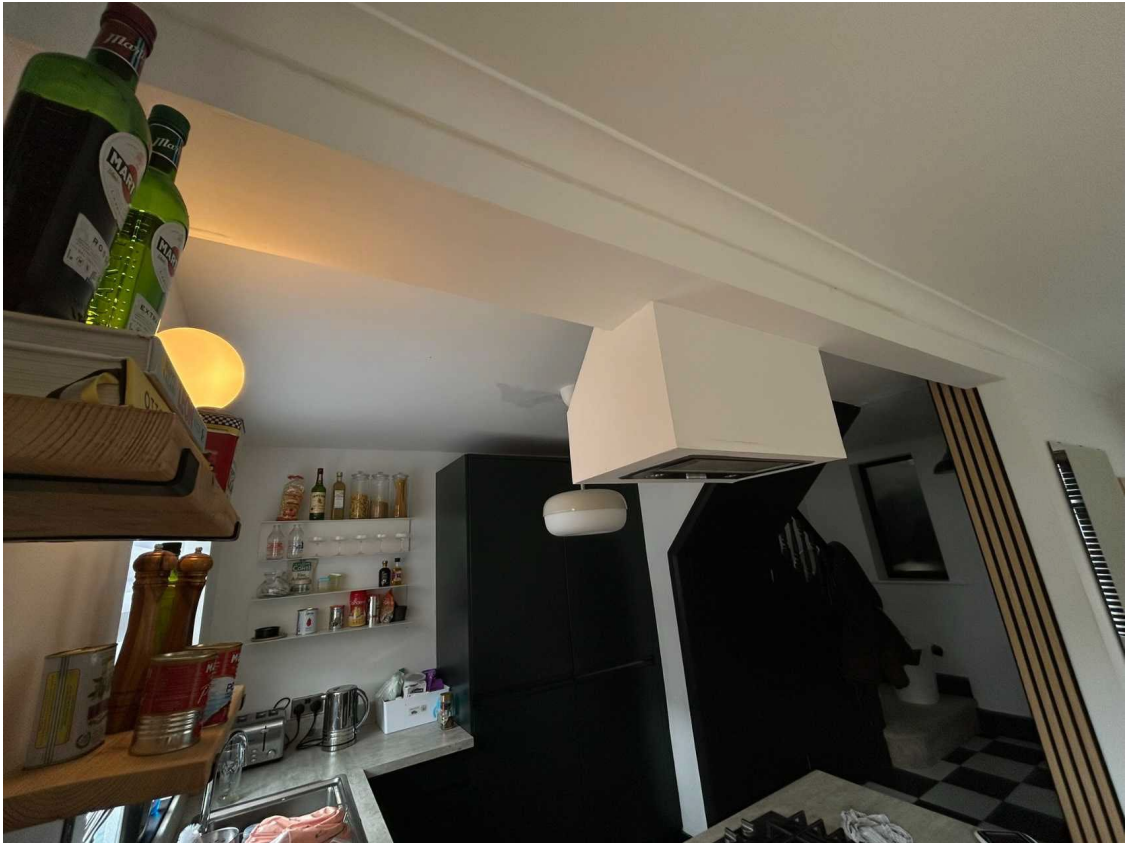
View to kitchen



View to sink



View to kitchen ceiling



View to vent over cooker

E7 Woodwork (for example, staircase joinery)

1

The property's main staircase is constructed of timber from ground to first floor.

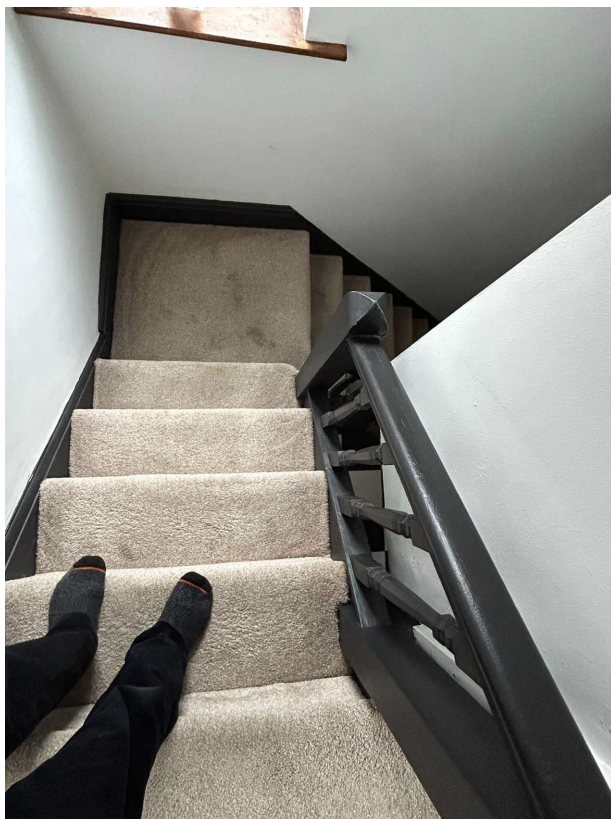
The internal joinery in the property includes timber doors and frames, skirting boards and architraves.

There is a door missing to the bedroom 3,

There is an understairs cupboard housing the gas meter and electric meter.



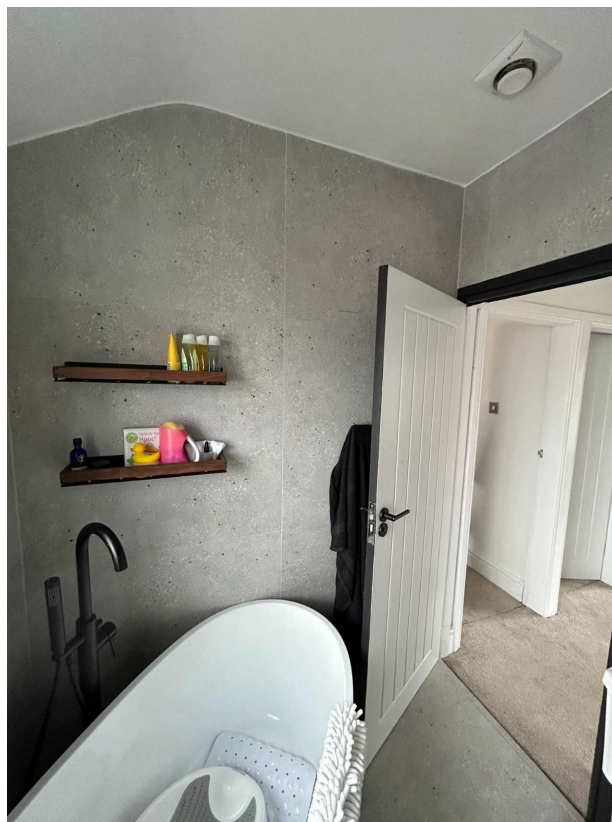
View to stairs from landing area



View to stairs leading to intermediate landing



View to stairs leading to ground



First floor doors

E8 Bathroom fittings

NI

The bathroom fittings are in satisfactory condition as can be seen from the photos.

There is a mechanical extract fan provided to the bathroom.

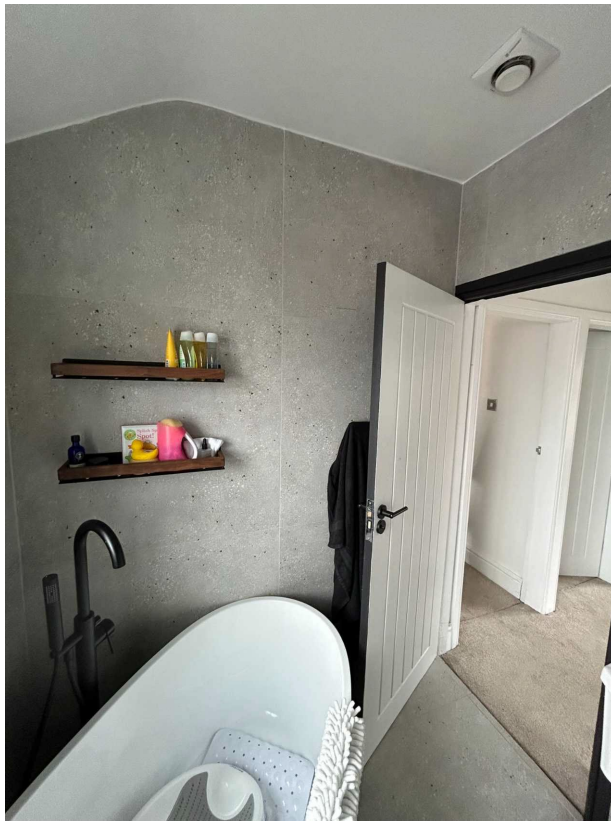
By their nature, showers generate significant amounts of steam, which will in turn cause condensation. Even with a good mechanical extraction system, mould can be problematic, and you will need to remain vigilant and take action at its onset.



View to bathroom



View to bathroom



View towards landing from bathroom



View to the hand basin worn chrome stopper

E9 Other

Ⓝ

Not applicable.

F

Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

Services

Limitations on the inspection

As a general note regarding services, we are not specialised in this field and therefore recommend that you seek specialist advice on all service matters.

The items below should be regarded as comments and suggestions. They are not a full and complete assessment of any problems that may exist.

The main service installations within this property have been subject to a visual inspection only, and no intrusive checks have been carried out.

The information provided in this part of the report is purely for your consideration only. No services were tested.

In the absence of verified certification, regulation stipulates that some of the below items are automatically allocated a level 3 rating.

Safety warning for F1 Electricity: *Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice contact Electrical Safety First.*

F1 Electricity

3

Electricity is supplied from the mains via a meter and consumer unit (assumed) located internally in the understairs cupboard in the kitchen.

It must be noted that we are not qualified to give a detailed report on the condition of the electrical installation as a whole. We recommend that this be examined by a competent consultant or qualified electrical engineer and a further report obtained. You should have the entire installation tested by a competent electrician (NICEIC/ECA registered) prior to purchase, so that you are aware of the likely costs and all recommendations implemented.

Thereafter, the installation should be retested every ten years. We have not arranged a specialist test of the electrical installation and are unable to comment upon it in detail. Without such a test, it is not possible to say whether the installation is safe and complies fully with current regulations.

We would recommend the inspection be carried out before purchase.



Electric meter/consumer unit

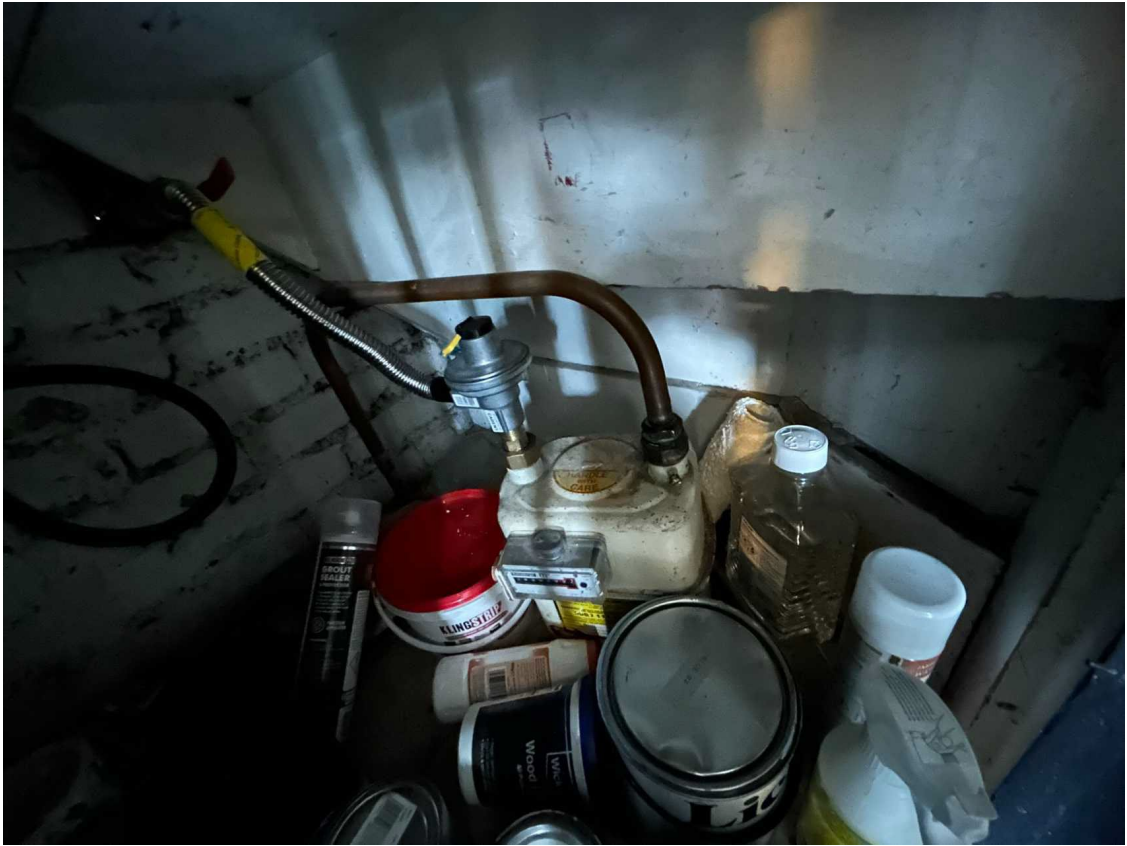
Safety warning for F2 Gas/oil: All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

F2 Gas/oil

3

Without specialist examinations of the system, we are unable to comment on the quality or safety of the system, and as a precautionary measure, we would recommend that further investigations be undertaken prior to purchase. Thereafter, the installation should be serviced annually.

You should instruct a Gas Safe-registered contractor to provide an estimate for these works and any necessary associated repairs. If a recent test certificate, dated within the last twelve months, is not available for the gas supply and appliances, then we would recommend that they be tested.

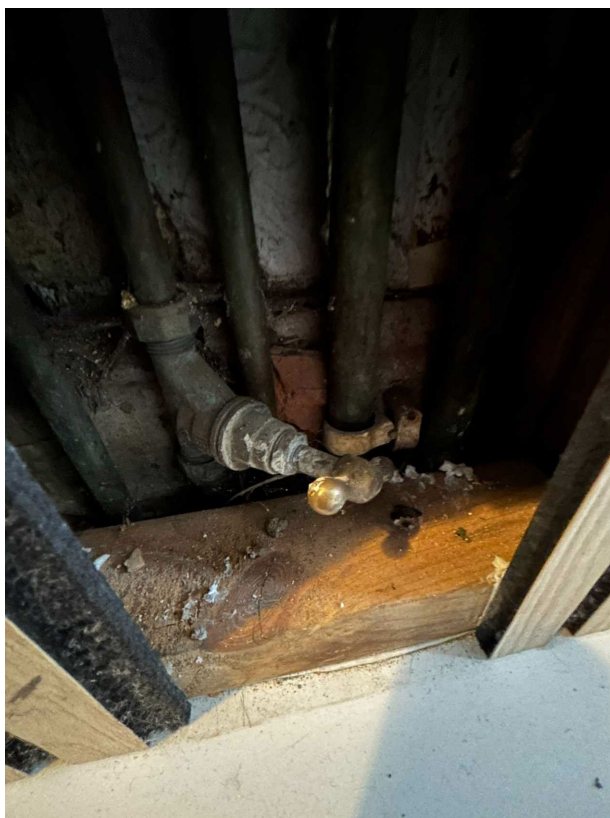


Gas meter under the stairs

F3 Water

1

The stop tap is located in a small alcove opposite the understairs cupboard.



Stop tap

F4 Heating

3

Central heating is provided by means of a gas-fired combination boiler located in the kitchen. The radiators are generally comprising wall mounted steel pan type fed by copper pipework. The heating was in use at the time of the inspection, but it was turned off.

Your Legal Adviser should find out from the seller about the maintenance record for the installation.

If this turns out to be unsatisfactory, you should have the system checked by a heating engineer before the exchange of contracts.

Our limited inspection of the system revealed no evidence to suggest any serious defects, but we would nevertheless recommend that a test of the installation be undertaken prior to purchase and that regular maintenance contract be placed with an approved heating engineer.

We have not made any calculations to check that radiators are of adequate size and we did not test the system and therefore cannot comment upon its efficiency.



Gas boiler



Flue to boiler



Boiler control



Radiator



Valve to radiator

F5 Water Heating

3

Refer t section F4



Gas boiler

F6 Drainage

3

The property is presumed to drain to the mains via drain lines.

We did not rod the drains through or carry out tests, and we cannot comment on any defects which may exist in the underground drain runs. However, we did not note anything that would suggest that there is an issue with the drain to the property.

Your Legal Adviser should raise specific questions as to whether any problems have been experienced in relation to the drainage system and give you further information concerning your liability in respect of the drains to the property. As part of general ongoing maintenance, drains should be regularly flushed and cleaned to ensure adequate functioning.



Soil pipe



Waste pipes to the gully on the right hand side



Soil pipe to the right-hand gable

F7 Common Services

NA

Not applicable.

G

**Grounds
(including shared areas for flats)**

G

Grounds (including shared areas for flats)

Limitations on the inspection

We have not consulted any Geological or Ordnance Survey Maps and have been unable to establish any details as to the previous use of the site. We are unable to comment within the terms of this report, which is restricted in its scope, as to whether there are any hidden problems with the ground upon which the property is built, nor are we able to comment on the possibility or otherwise of the property being affected by any other matters. Your Legal Adviser should check this aspect. We have not undertaken an inspection of the grounds to specifically check for Japanese Knotweed (JKW) or any other invasive plant life, however our inspection of the grounds has been undertaken in line with RICS expectations for this level of home survey (see RICS Home Survey Standard, November 2019), as well as RICS guidelines pertaining to checking for JKW (see RICS 'Japanese Knotweed and residential property, 2012). If any suspected invasive plant life is noted on inspection of the grounds it will be commented on herein. It is recommended that you commission an inspection and a report from a qualified contractor in this regard if this is of concern to you, as we cannot categorically rule out the presence of JKW.

G1 Garage

NA

Not applicable.

The outbuilding is constructed in single-skin blockwork, offering limited thermal performance and poor resistance to moisture penetration. This form of construction does not comply with current Building Regulations for habitable accommodation, particularly in relation to thermal efficiency, damp-proofing, and structural robustness.

The building has no fixed heating system, further confirming that it is not suitable for continuous occupation.

An electrical installation is present, including a consumer unit, power outlets and lighting. The outbuilding is also plumbed to accommodate a washing machine, with appropriate supply and waste connections. There is no toilet or other sanitary provision within the structure.

Risks / Implications:

Single-skin construction is prone to condensation, cold bridging and dampness, especially in unheated spaces.

The lack of insulation and heating means the building is not compliant for use as living accommodation.

Electrical and plumbing installations in a non-habitable, unheated structure may be at increased risk of condensation-related deterioration.

Any future intention to convert the outbuilding into a habitable room would require significant upgrading and formal approval from Building Control.

Recommendations:

The outbuilding should be used only for non-habitable purposes such as storage, utility use or occasional workspace.

If you intend to upgrade the building for habitable use, you should obtain advice from a qualified builder and Building Control regarding required improvements, including:

- full insulation and damp-proofing
- improved wall construction or internal lining
- installation of a compliant heating system
- ventilation upgrades
- compliance checks for electrical and plumbing installations
- Have the existing electrical installation inspected and tested by a competent electrician to ensure it is safe for continued use in an unheated environment.
- Monitor the building for signs of dampness, condensation or thermal inefficiency, particularly during colder months.



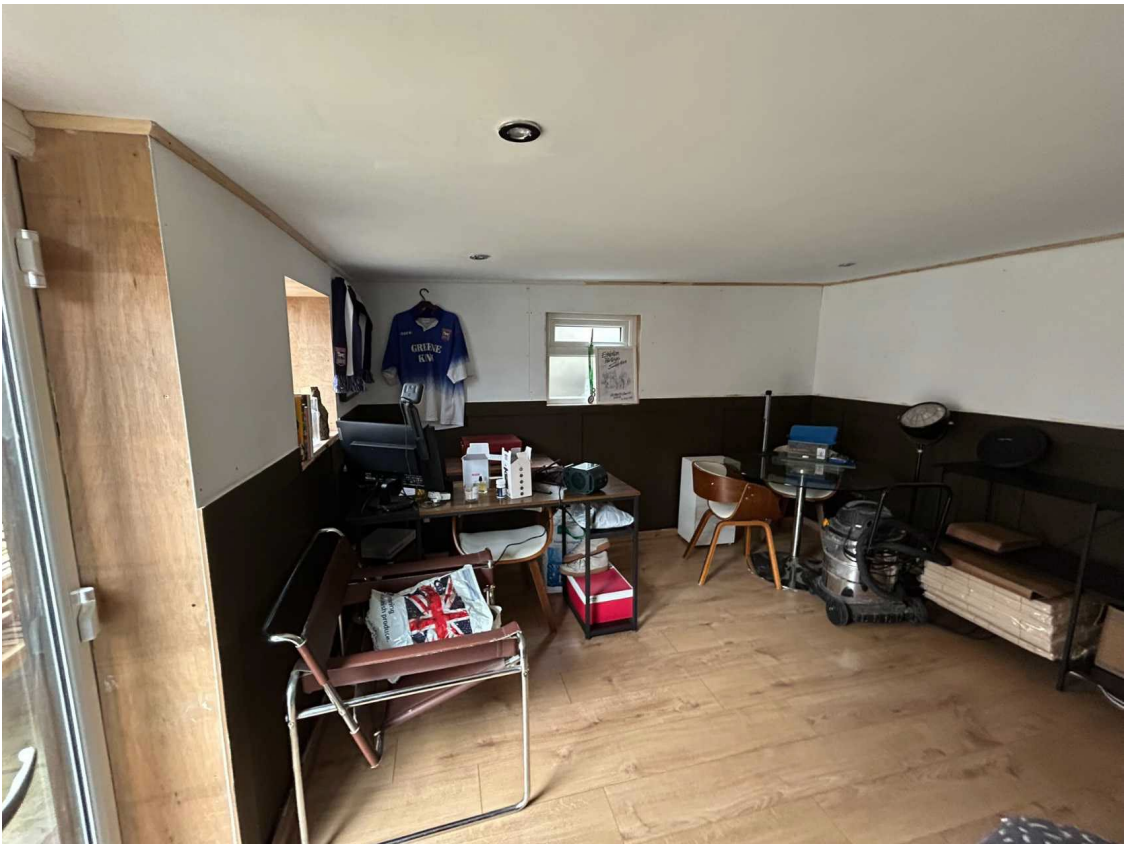
View rear out building



View to flat roof to out building



View to front of out-building



View to internal



View to electric consumer unit



View to utility is in the out building

The front and rear yards are laid with gravel and paving, with boundaries formed by **timber posts and timber fence panels**. A paved pathway runs along the **right-hand side** of the property and provides access to the rear.

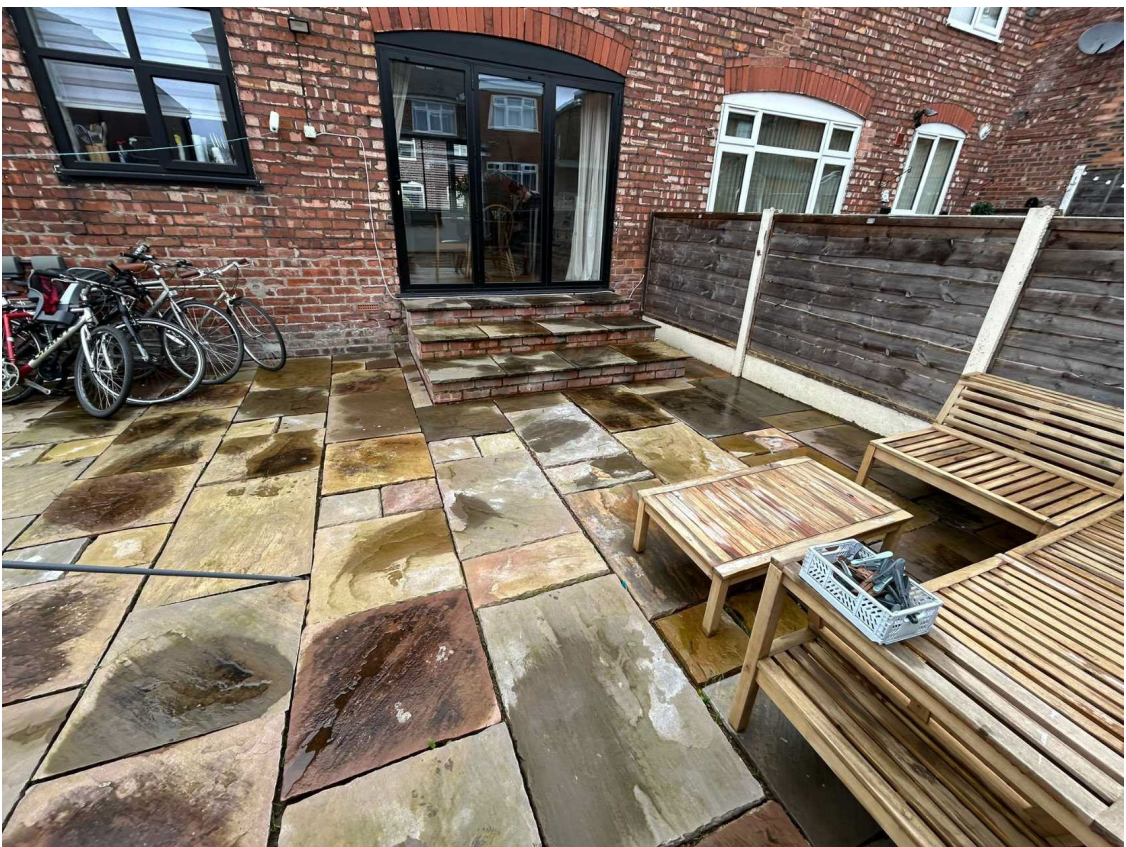
To the rear, the steps leading up to the patio have **interrupted the drainage run**, resulting in **ponding water** against the base of the brickwork. This has caused **staining and discolouration** to the lower brickwork. One of the brick piers is **missing its capping**, leaving the top surface exposed to weathering.



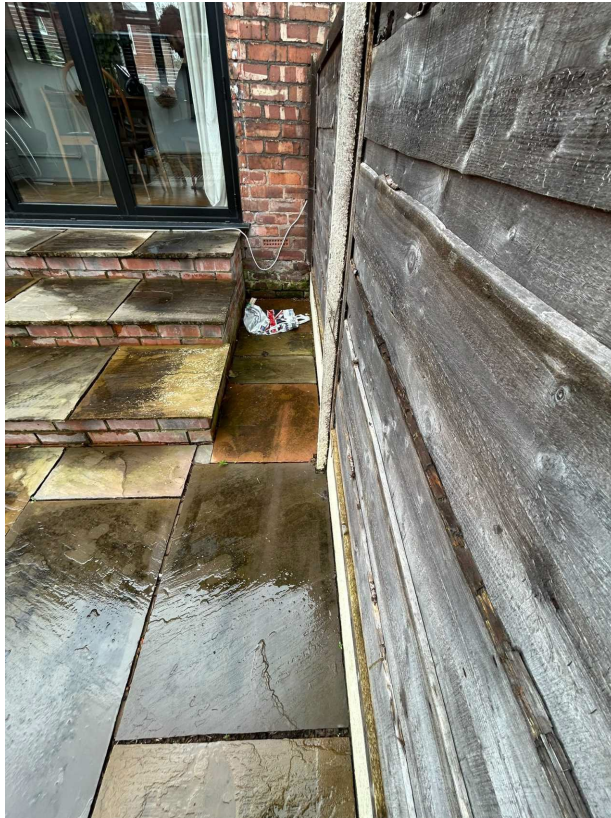
Front yard



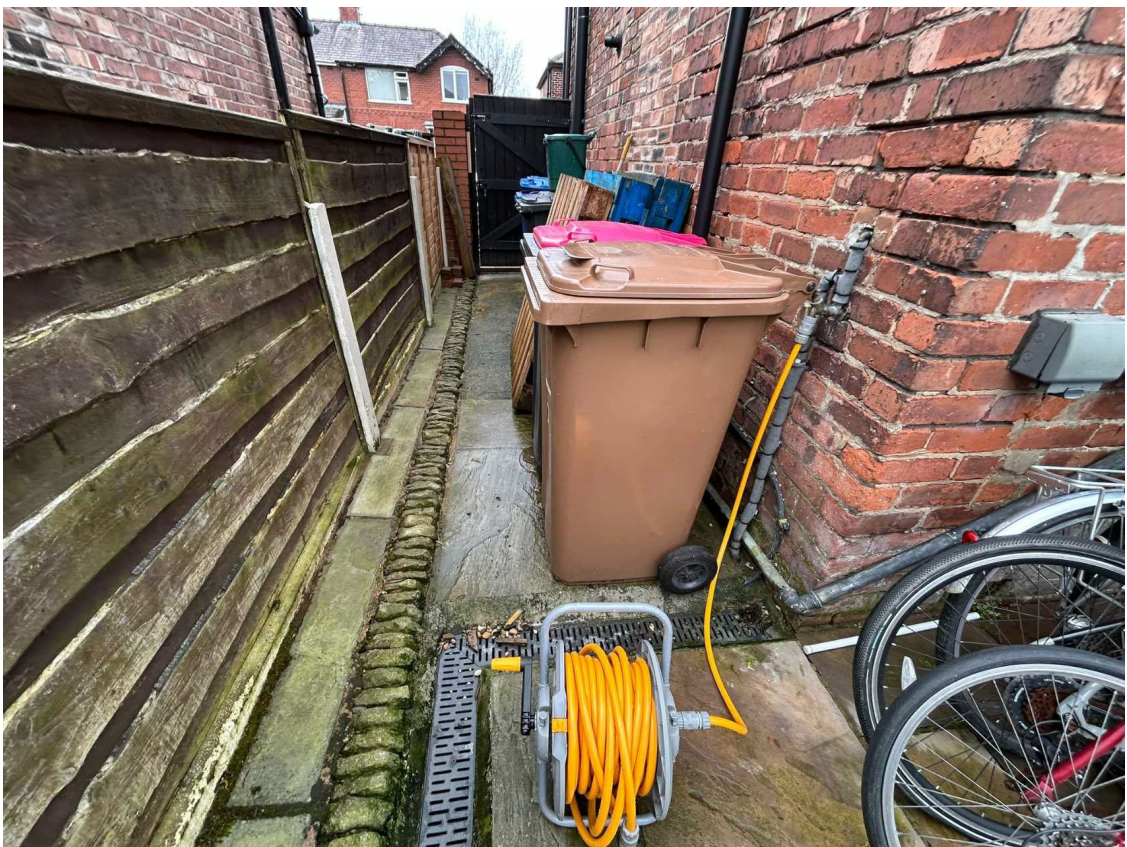
Boundary fence



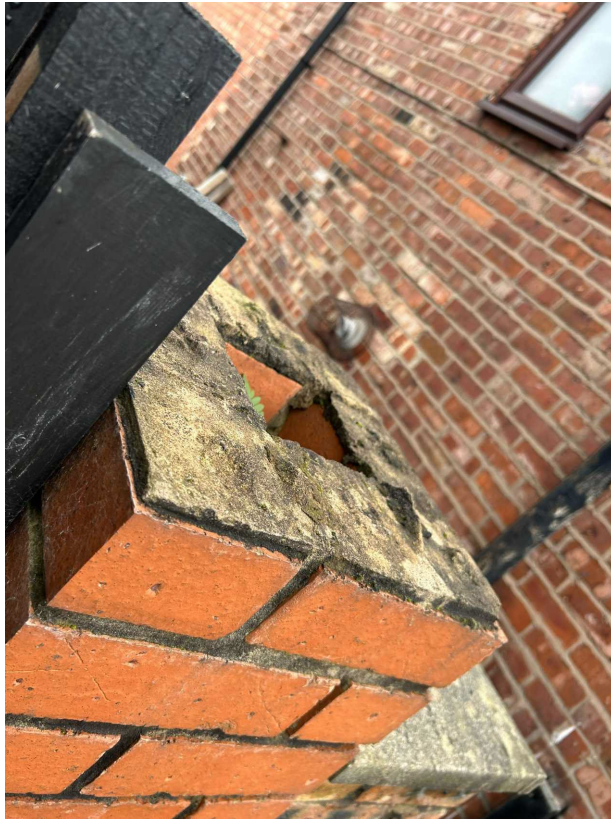
Rear yard



Poor drainage, staining to base of brick



Right hand path



Pier - missing capping



Gate threshold

H

Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.

Issues for your legal advisers

H1 Regulation

We are unaware of any development or road widening proposals that are likely to affect the property directly. We would recommend that you instruct your Legal Adviser to make the usual searches in this regard.

We are not aware that the property is Listed or within a Conservation Area but your Legal Adviser should seek confirmation of this. If it becomes apparent that the property is Listed or in a Conservation Area then you should be aware that this will limit any alterations you intend to make.

Your Legal Adviser should confirm the ownership and liability for footpaths and other access ways around the property.

Your Legal Adviser should confirm that there are rights of way to your property from the public highway.

External locks to doors should be checked to ensure they meet your conditions or those of your insurers.

The Surveyor will assume that the property is not subject to any unusual or especially onerous restrictions or covenants which apply to the structure or affect the reasonable enjoyment of the property.

The Surveyor will assume that the property is not subject to any unusual or especially onerous restrictions or covenants which apply to the structure or affect the reasonable enjoyment of the property.

The Surveyor will assume that all By-Laws, Building Regulations and other consents required have been obtained. In cases of new buildings, alterations and extensions which require statutory consents or approvals, the Surveyor will not verify whether such consents have been obtained.

Any enquiries should be made by the Client or his Legal Advisers. Drawings and specifications will not be inspected by the Surveyor.

The Surveyor will assume that the property is unaffected by any matters which would be revealed by a Local Search (or their equivalent in Scotland and Northern Ireland) and replies to the usual enquiries, or by Statutory Notice and that neither the property nor its condition, its use or its intended use, is or will be unlawful.

H2 Guarantees

It is possible that guarantees exist for the property. However, we are not aware of any.

Your Legal Adviser is recommended to establish the existence of any guarantees and, if appropriate, transfer any benefits to yourself, for example to the boiler, windows and doors.

Your Legal Adviser is responsible for checking relevant documents relating to the property; these might include servicing records and any guarantees, reports and specifications on previous repair works as well as for carrying out all the standard searches and enquiries.

Confirm the extent and validity of guarantees for items such as insulation, double glazing, boiler maintenance or related work.

H3 Other matters

N/a



Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition-rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and not be reasonably changed.

Risks

I1 Risks to the building

1. Gas and electrics
2. No access provided to drains, for maintenance if required
3. Structural movement:

We noted no evidence of any significant recent or progressive structural movement within the property, although did observe evidence of usual settlement considered to be within acceptable parameters at this stage. Long-term monitoring would, of course, be necessary to be categorical regarding the structural condition but it is not considered warranted based on our single inspection within the limitations imposed.

You are most strongly advised to obtain competing quotations from reputable contractors before you exchange contracts. As soon as you receive the quotations and report for the work specified above and also the responses from your Legal Adviser, we will be pleased to advise you whether or not they would cause of to change our advice given in this report. We must advise you, however, that if you decide to exchange contracts without obtaining this information, you would have to accept the risk that adverse factors might come to light in the future.

I2 Risks to the grounds

Your legal adviser should make further inquiries and advise you on whether the building is located near to, or over a landfill site and what precautions, if any, have been taken to remove, control or prevent any contamination.

We found no evidence on the site or in the immediate vicinity to suggest the property has been affected by flooding but your Legal Adviser should make enquiries of the Environment Agency.

I3 Risks to people

The property is in an area where radon levels are circa **30%**. Radon is a natural gas that can enter buildings from the ground. It isn't something you can see or smell, but long-term exposure to high levels can increase the risk of lung cancer, especially for smokers.

Because your house has **suspended timber floors** and a **cellar**, radon can find its way inside more easily than in homes built directly on solid concrete floors. This doesn't mean the house is unsafe — it simply means it's sensible to check the levels.

The first step is to carry out a **simple radon test**, using detectors left in the property for around three months. If the results show higher-than-recommended levels, there are well-established ways to reduce radon, such as improving ventilation under the floors, sealing gaps, or installing a small extraction system called a **radon sump**. These measures are straightforward and commonly used in older homes.

In short: **Test first, then mitigate if needed**. The solutions are practical, effective, and widely used in properties of this age and construction.

I4 Other risks or hazards

N/a

J

Energy matters

This section describes energy related matters for the property as a whole. It takes into account a broad range of energy related features and issues already identified in the previous sections of this report, and discusses how they may be affected by the condition of the property.

This is not a formal energy assessment of the building but part of the report that will help you get a broader view of this topic. Although this may use information obtained from an available EPC, it does not check the certificate's validity or accuracy.

Energy Matters

J1 Insulation

Poor insulation. Circa 90mm thick fiber glass quilt insulation is provided to the roof space. This is laid between the joists.

Currently, in England, Wales and Northern Ireland a vaulted or flat roof should achieve an 'improved' thermal transmittance (U-value) of 0.18 W/m²K, and a roof insulated at ceiling level should achieve an 'improved' thermal transmittance (U-value) of 0.16 W/m²K. Where this is not technically or functionally feasible, then the roofs should be upgraded to the best U-value possible. In all circumstances, the U-value must be calculated in accordance with the conventions in the current version of BR443 conventions for calculating U-values.

J2 Heating

Homeowners are set to have more choice over ways to access heating systems and bring down costs under proposals being considered as part of the Warm Homes Plan – helping to deliver on the government's milestone of higher living standards as part of the Plan for Change.

Demand for heat pumps is surging, with the Boiler Upgrade Scheme – which offers up to £7,500 off the cost, enjoying its best month since opening, with 4,028 applications received in March 2025, up 88% on the same month last year. Heat pumps can save families around £100 on their average energy bills when used with a smart tariff.

With more households wanting to make the upgrade to cleaner, homegrown energy, the government has today launched a new consultation on expanding the Boiler Upgrade Scheme to give families even greater choice to pick what works best for them. Changes to the scheme could see families potentially access air-to-air heat pumps and electric heating technologies such as heat batteries, which are currently not eligible for grants under the scheme, alongside new purchase and ownership models which could spread the cost of a heat pump over several years, or give households the opportunity to lease one for a monthly fee instead.

J3 Lighting

J4 Ventilation

J5 General

K

Surveyor's declaration



Surveyor's declaration

Surveyor's RICS number

0099893

Phone number

07763826461

Company

Kingdom Building Surveying Services

Surveyor's address

2 Eccles Fold

Year	Establishment	Qualification
1992	Leister Polytechnic	BSc(Hons) Building Surveying
1997	RICS	MRICS

Email

michaeldonohoe7773@gmail.com

Website

<https://www.kingdom-building-surveying-services.com/>

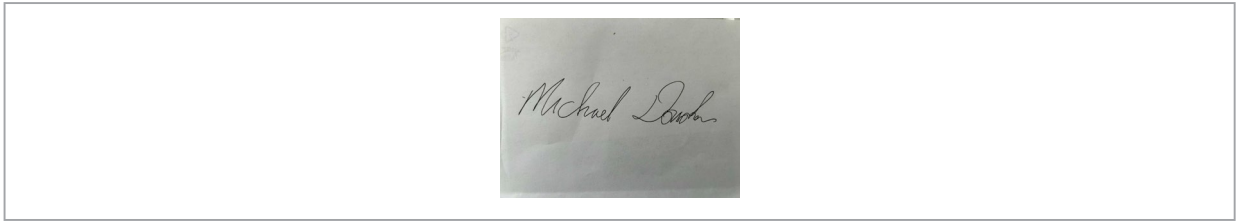
Property address

Client's name

Date this report was produced

1st Apr 2026

I confirm that I have inspected the property and prepared this report.



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What to do now



Further investigations and getting quotes

We have provided advice below on what to next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive. This will allow you to check the amounts are in line with our estimates, if cost estimates have been provided.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for;
- describe in writing exactly what you will want them to do; and
- get the contractors to put their quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

Who you should use for these further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.



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**Description of the RICS Home Survey -
Level 3 service and terms of
engagement**



Description of the RICS Home Survey service and terms of engagement

The service

The Home Survey - Level 3 Service includes:

- a thorough inspection of the property (see 'The inspection') and
- a detailed report based on the inspection (see 'The report').

The surveyor who provides the Home Survey - Level 3 Service aims to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property;
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects;
- propose the most probable cause(s) of the defects based on the inspection and
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor carefully and thoroughly inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building without occupier/owner consent, or if there is a risk of causing personal injury or damage. This includes taking up fitted carpets and fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although thermal insulation is not moved, small corners should be lifted so its thickness and type, and the nature of underlying ceiling can be identified (if the surveyor considers it safe to do). The surveyor does not move stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests other than through their normal operation in everyday use. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are also treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally or externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within or owned by the subject flat or communal areas. The surveyor also inspects (within the identifiable boundary of the subject flat) drains, lifts, fire alarms and security systems, although the surveyor does not carry out any specialist tests other than their normal operation in everyday use. External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended prior to legal commitment to purchase.

Dangerous materials, contamination and environmental issues

The surveyor makes enquiries about contamination or other environmental dangers. If the surveyor suspects a problem, they recommend a further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within The Control of Asbestos Regulations 2012 ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in the regulations), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

The report

The surveyor produces a report of the results of inspection for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report is aimed at providing you with a detailed understanding of the condition of the property to allow you to make an informed decision on serious or urgent repairs, and on the maintenance of a wide range of reported issues.

Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows.

R - Documents we may suggest you request before you sign contracts.

Condition rating 3 - defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.

Condition rating 2 - defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.

Condition rating 1 - no repair is currently needed. The property must be maintained in the normal way.

NI - Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 3 service for the property. Where the EPC has not been made available by others, the surveyor will obtain the most recent certificate from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency rating in this report. Where possible and appropriate, the surveyor will include additional commentary on energy-related matters for the property as a whole in the energy efficiency section of the report, but this is not a formal energy assessment of the building. Checks will be made for any obvious discrepancies between the EPC and the subject property, and the implications will be explained to you. As part of the Home Survey – Level 3 Service, the surveyor will advise on the appropriateness of any energy improvements recommended by the EPC.

Issues for legal advisors

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. The RICS Home Survey – Level 3 report will identify risks, explain the nature of the problems and explain how the client may resolve or reduce the risk.

If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers.

Standard terms of engagement

1 The service - The surveyor provides the standard RICS Home Survey – Level 3 service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports
- market valuation and re-instatement cost, and
- negotiation.

2 The surveyor - the service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS), who has the skills, knowledge and experience to survey, value and report on the property.

3 Before the inspection - before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

This period forms an important part of the relationship between you and the surveyor. The surveyor will use reasonable endeavours to contact you to discuss your particular concerns regarding the property and explain (where necessary) the extent and/ or limitations of the inspection and report. The surveyor also carries out a desktop study to understand the property better.

4 Terms of payment - you agree to pay the surveyor's fee and any other charges agreed in writing.

5 Cancelling this contract - you should seek advice on your obligations under The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 ('the Regulations') and/or the Consumer Rights Act 2015 in accordance with section 2.6 of the current edition of the Home survey standard RICS professional statement.

6 Liability - the report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor.

This report is for use in the UK.

Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask. The

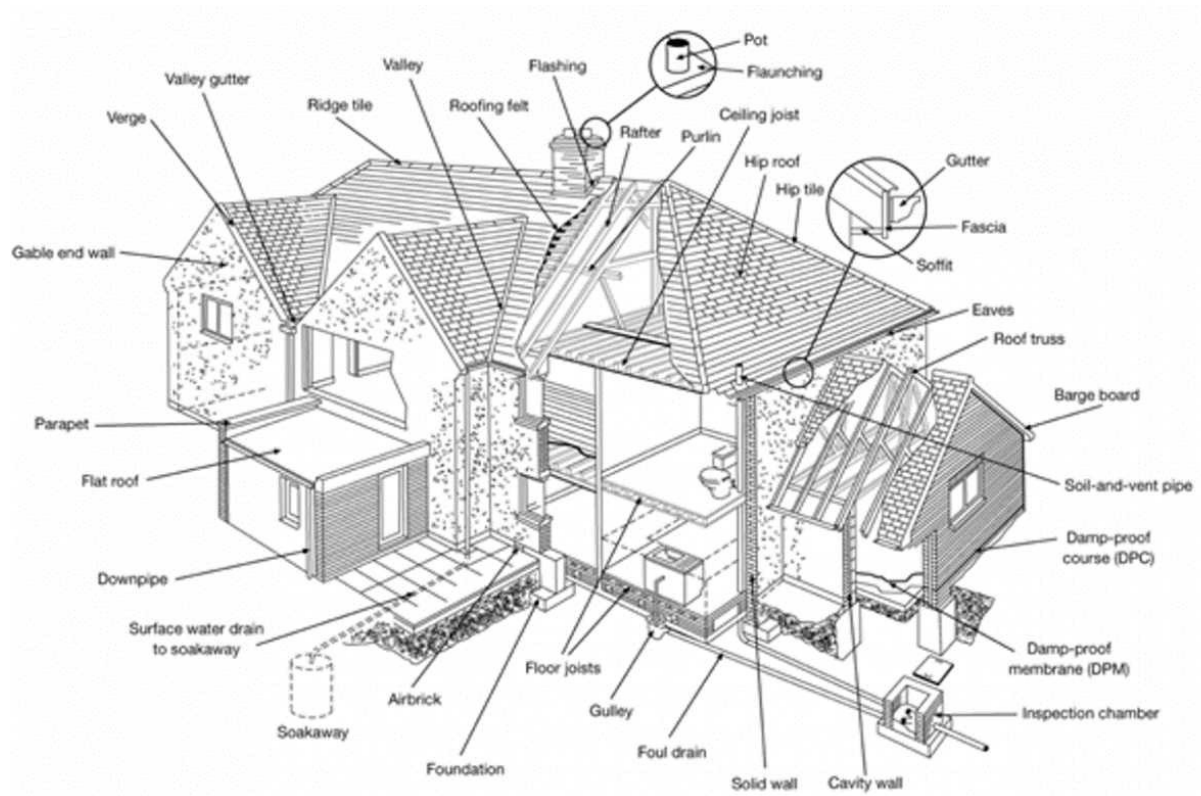
surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

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Typical house diagram

Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



RICS disclaimer

You should know...

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